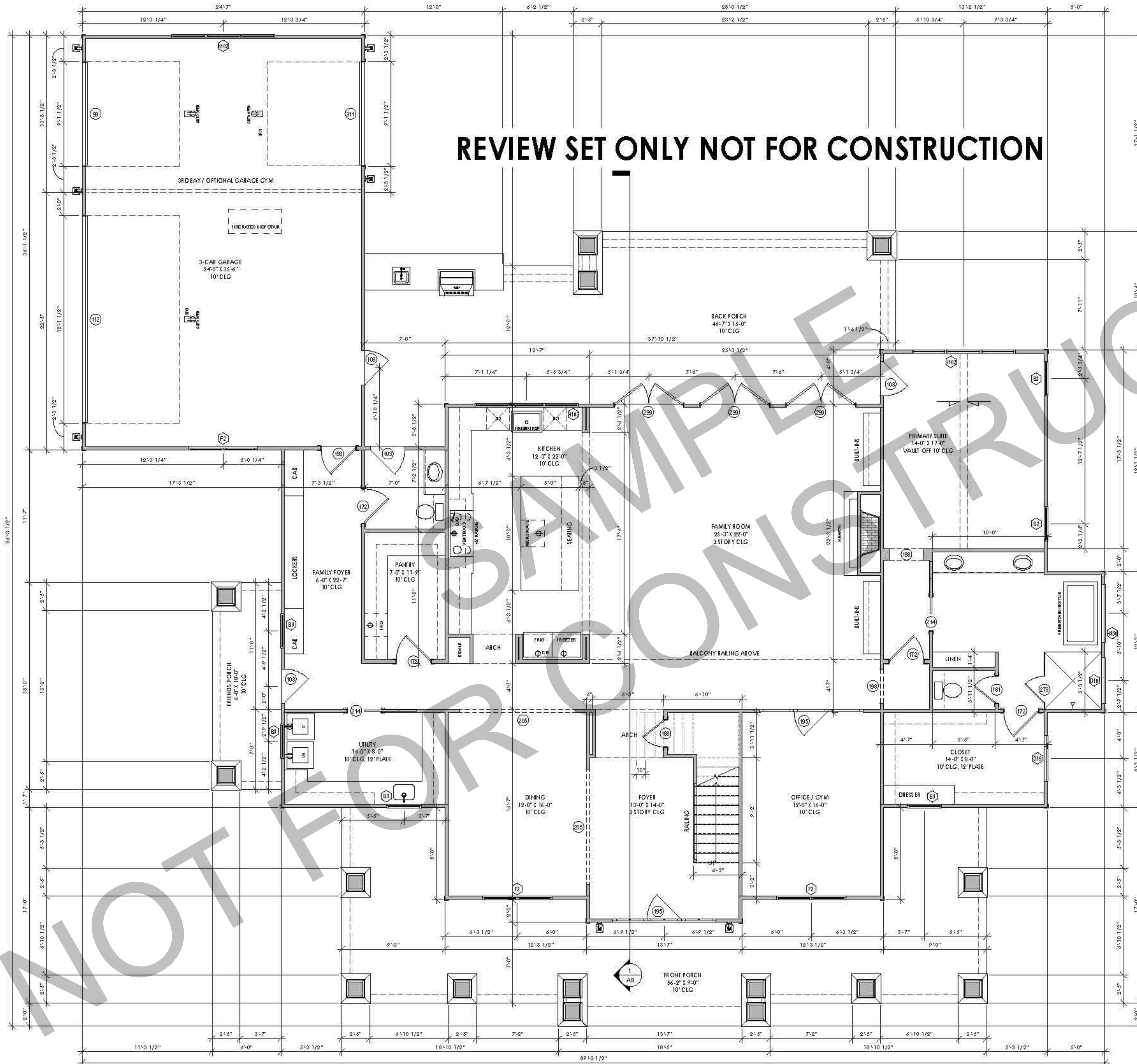


# REVIEW SET ONLY NOT FOR CONSTRUCTION



## DOOR SCHEDULE

Type Mark	DESCRIPTION
28	2'-4" X 6'-8" TEMPERED GLASS SHOWER DOOR
30	TWIN 2'-0" X 8'-0" HOLLOW CORE
99	9'-0" X 8'-0" METAL OVERHEAD DOOR
103	3 x 8 EXTERIOR
112	18'-0" X 8'-0" METAL OVERHEAD DOOR
172	3'-0" X 8'-0"
181	2'-4" X 8'-0"
185	3'-0" X 8'-8"
188	2'-4" X 6'-8"
193	3'-0" X 8'-0" FIRE RATED
195	Door-Modern 3 x 8 TRIPLE
198	3'-0" x 8'-0"
205	OPENING VERIFY HT & TYPE
214	3'-0" X 8'-0" POCKET DOOR
273	2'-4" X 8'-0" TEMPERED GLASS SHOWER DOOR
299	3'-0" X 8'-0" MODERN TWIN
311	9'-0" X 8'-0" METAL OVERHEAD DOOR

IMPORTANT NOTE: REFERENCE THE ELEVATIONS WHEN ORDERING WINDOWS & DOORS

## WINDOW SCHEDULE

TYPE MARK	WIDTH	HEIGHT	SILL HEIGHT	OPERATION	UNIT	TYPE	QTY
B2	3'-0"	6'-0"	2'-0"	SINGLE HUNG	SINGLE	DIVIDED LITE	2
B3	3'-0"	4'-0"	4'-0"	SINGLE HUNG	SINGLE	DIVIDED LITE	4
D1	3'-0"	5'-0"	2'-0"	FIXED	SINGLE	DIVIDED LITE	3
D19	4'-0"	2'-0"	6'-0"	FIXED	SINGLE	DIVIDED LITE	2
F2	3'-0"	6'-0"	2'-0"	SINGLE HUNG	TWIN	DIVIDED LITE	3
H5	3'-0"	4'-6"	3'-0"	FIXED	TWIN	DIVIDED LITE	3
H102	3'-0"	6'-0"	2'-0"	SINGLE HUNG	TRIPLE	DIVIDED LITE	2
H103	3'-0"	5'-0"	3'-0"	SINGLE HUNG	TRIPLE	DIVIDED LITE	1
H112	3'-0"	3'-0"	11'-4"	FIXED	TRIPLE	DIVIDED LITE	1
H360	5'-0"	6'-0"	3'-0"	FIXED	SINGLE	DIVIDED LITE	1
H367	3'-0"	6'-6"	2'-0"	SINGLE HUNG	TWIN	DIVIDED LITE	3
H368	3'-0"	6'-6"	2'-0"	FIXED	TRIPLE	DIVIDED LITE	1

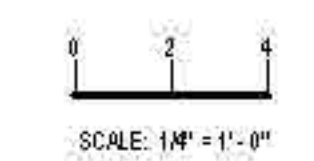
TOTAL PROJECT WINDOWS: 26

### AREA SLAB

LOCATION:	SQ. FT.
1ST FLOOR LIVING:	2,766 SF
BACK PORCH:	669 SF
FRONT PORCH:	669 SF
GARAGE:	886 SF
SIDE PORCH:	108 SF
TOTAL SLAB:	5,068 SF

### AREA LIVING

LOCATION:	SQ. FT.
1ST FLOOR LIVING:	2,766 SF
2ND FLOOR LIVING:	1,181 SF
TOTAL LIVING:	3,937 SF

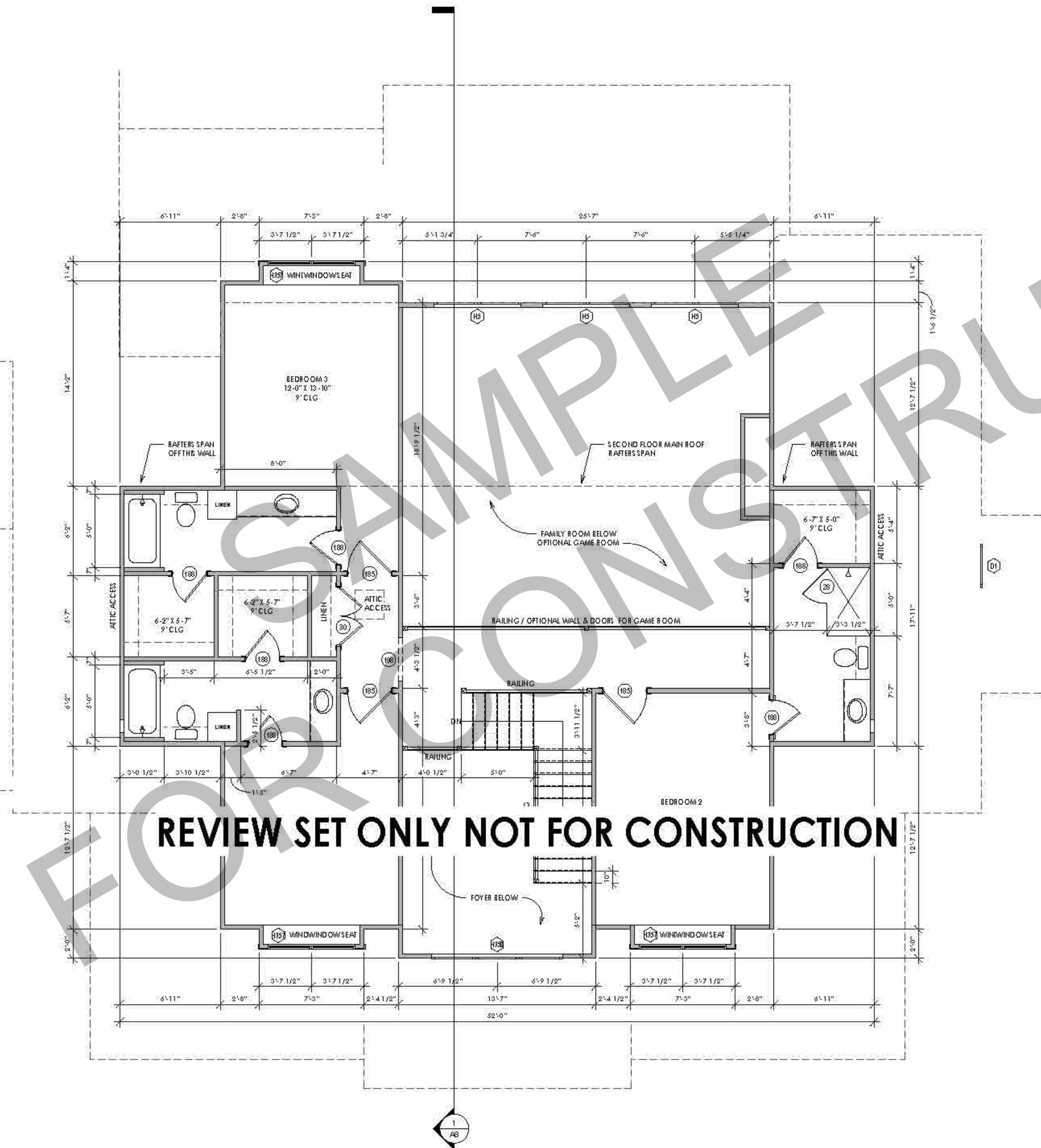


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## GENERAL NOTES:

- A/C VENTS IN MASTER CLOSET.
- ALL SMOKE DETECTORS SHALL BE HARDWIRED.
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH CITY OR COUNTY BUILDING CODES AND ORDINANCES.
- GENERAL & SUBCONTRACTORS SHALL VERIFY DIMENSIONS AND EXISTING SITE CONDITIONS. STARTING OF WORK SHALL MEAN ACCEPTANCE OF SUCH CONDITIONS.
- LOCATION OF STORM SEWAGE, DRAINAGE, EASEMENTS, AND BUILDING SETBACKS VERIFIED AT JOB SITE PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ON EXTERIOR WALLS ARE FROM OUTSIDE OF FOUNDATION TO FACE OF STUD OR FACE OF MASONRY TO FACE OF STUD.
- ALL DIMENSIONS ON INTERIOR WALLS ARE FROM FACE OF STUD TO FACE OF STUD.
- ALL DIMENSIONS TO OPENINGS ARE FROM FOUNDATION TO CENTER OF OPENING.
- ALL EXHAUST FANS IN WET AREAS SHALL BE VENTED OUTSIDE THE HOUSE.
- ALL WORK TO CONFORM TO DEED RESTRICTIONS IF APPLICABLE. PLANS TO BE REVIEWED BY ARCHITECTURAL CONTROL COMMITTEE.
- IF ACES IN ATTIC, A 3/4" PLYWOOD CATWALK SHALL GO FROM ACCESS HOLE TO UNIT, AND UNIT MUST BE WITHIN 20'.
- GENERAL AND SUBCONTRACTORS SHALL VERIFY ENGINEERED DRAWINGS AND ARCHITECTURAL DRAWINGS DO NOT HAVE DISCREPANCIES.
- LOCATION OF STORM DRAINAGE, EASEMENTS, AND BUILDING SETBACKS SHALL BE VERIFIED AT JOB SITE PRIOR TO CONSTRUCTION.
- ALL WINDOWS WITHIN 24" OF AN EXTERIOR ORIENTED DOOR TO BE TEMPERED GLASS. ALL OTHER TEMPERED GLASS LOCATIONS PER CODES.
- GENERAL AND SUBCONTRACTORS TO VERIFY ALL WINDOWS MEET EGRESS CODES IN APPLICABLE LOCATIONS.
- GENERAL AND SUBCONTRACTORS TO VERIFY SIZING AND LOCATIONS OF ALL APPLIANCES AND COMPONENTS.

NOT FOR CONSTRUCTION



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DOOR SCHEDULE

Type Mark	DESCRIPTION
28	2'-4" X 6'-8" TEMPERED GLASS SHOWER DOOR
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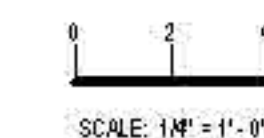
TOTAL PROJECT WINDOWS: 26

AREA SLAB

LOCATION:	SQ. FT.
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BACK PORCH:	669 SF
FRONT PORCH:	669 SF
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LOCATION:	SQ. FT.
1ST FLOOR LIVING:	2,766 SF
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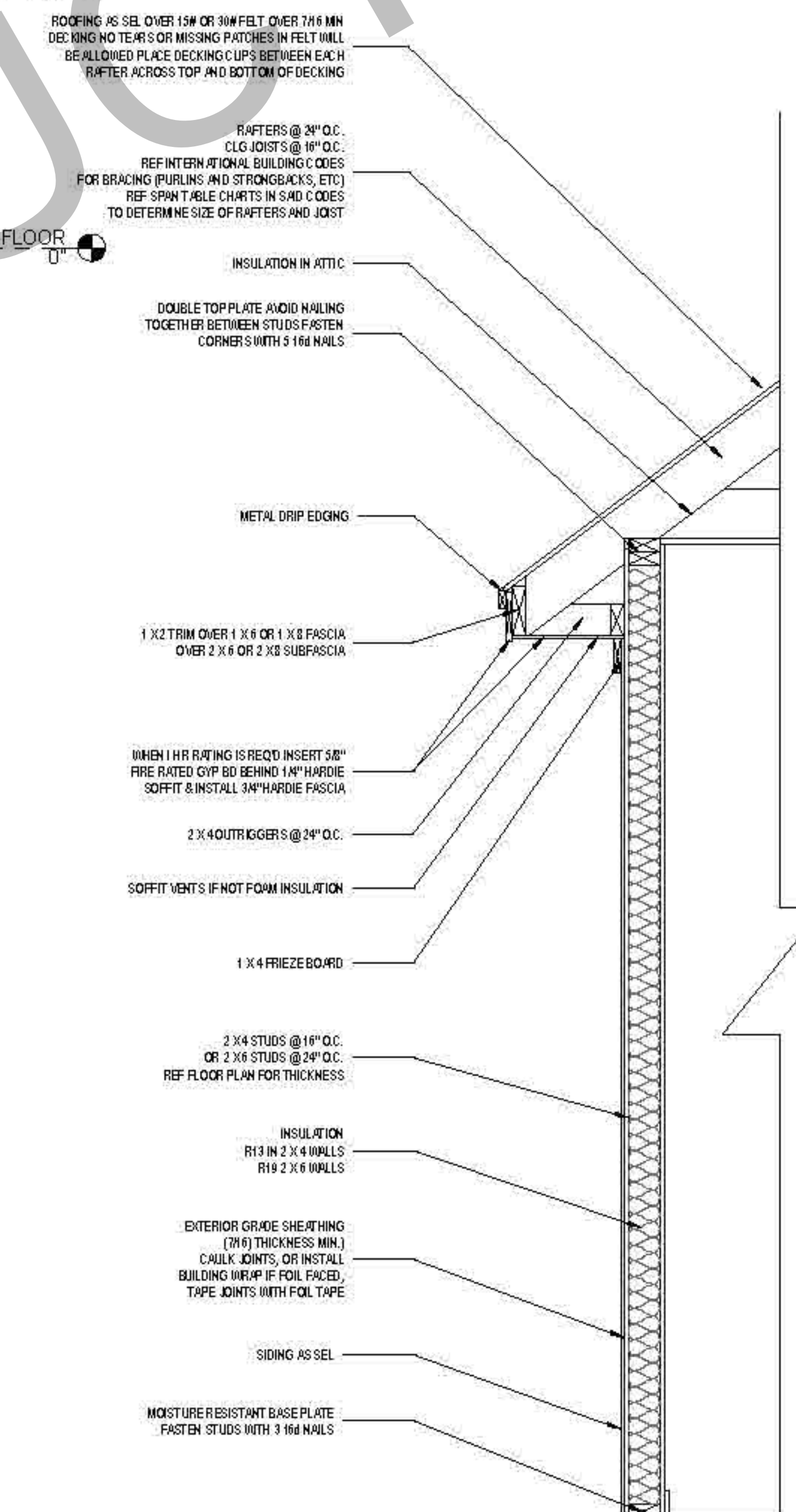
- DORMER PLATE  
26'-9 3/8"
- 2ND FLOOR 9'  
20'-9 3/8"
- 12' PLATE  
12'-1 1/8"
- 2ND FLOOR  
11'-8 1/4"
- 10' PLATE  
10'-1 1/8"
- FINISHED FLOOR  
0"

1 ELEVATION FRONT  
1/4" = 1'-0"

REVIEW SET ONLY NOT FOR CONSTRUCTION



2 ELEVATION BACK  
1/4" = 1'-0"



WALL - WOOD FRAMING WITH SIDING  
1" = 1'-0"



① ELEVATION LEFT  
1/4" = 1'-0"

**REVIEW SET ONLY NOT FOR CONSTRUCTION**



② ELEVATION RIGHT  
1/4" = 1'-0"

ROOFING AS SEL OVER 15# OR 30# FELT  
OVER 7/8 MIN DECKING NO TEARS OR MISSING PATHCES  
IN FELT WILL BE ALLOWED PLACE DECKING CLIPS BETWEEN  
EACH RAFTER ACROSS TOP AND BOTTOM OF DECKING

RAFTERS @ 24" O.C.  
CLG JOISTS @ 16" O.C.  
REF INTERNATIONAL BUILDING CODES FOR BRACING (PURLINS  
AND STRONGBACKS, ETC) REF SPAN TABLE CHARTS IN SAID  
CODES TO DETERMINE SIZE OF RAFTERS AND JOISTS

INSULATION IN ATTIC

DOUBLE TOP PLATE AVOID NAILING  
TOGETHER BETWEEN STUDS FASTEN  
CORNERS WITH 3/16" NAILS

1 X 2 TRIM OVER 1 X 6 OR 1 X 8 FACIA  
OVER 2 X 6 OR 2 X 8 SUBFACIA

2 X 4 OUTRIGGERS @ 24" O.C.

SOFFIT VENTS IF NOT FOAM INSULATION

1 X 4 FRIEZE BOARD

2 X 4 STUDS @ 16" O.C.  
OR 2 X 6 STUDS @ 24" O.C.  
REF FLOOR PLAN FOR THICKNESS

INSULATION  
R13 IN 2X4 WALLS  
R19 IN 2X6 WALLS

MASONRY, SIDING, OR STUCCO AS SELECTED OVER  
EXTERIOR GRADE SHEATHING (7/16 THICKNESS MIN.)  
CAULK JOINTS, OR INSTALL BUILDING WRAP IF FOIL  
FACED, TAPE JOINTS WITH FOIL TAPE

16" OR 18" OPEN WEB ENGINEERED FLOOR JOISTS  
LAYOUT TO BE DESIGNED BY JOIST ENGINEERS

MOISTURE RESISTANT BASE PLATE  
FASTEN STUDS WITH 3/16" NAILS

MEMBRANE FLASHING

○ WALL - 2 STORY WOOD FRAMING  
1" = 1'-0"



① FRONT PERSPECTIVE



② FRONT LEFT VIEW



③ FRONT RIGHT VIEW

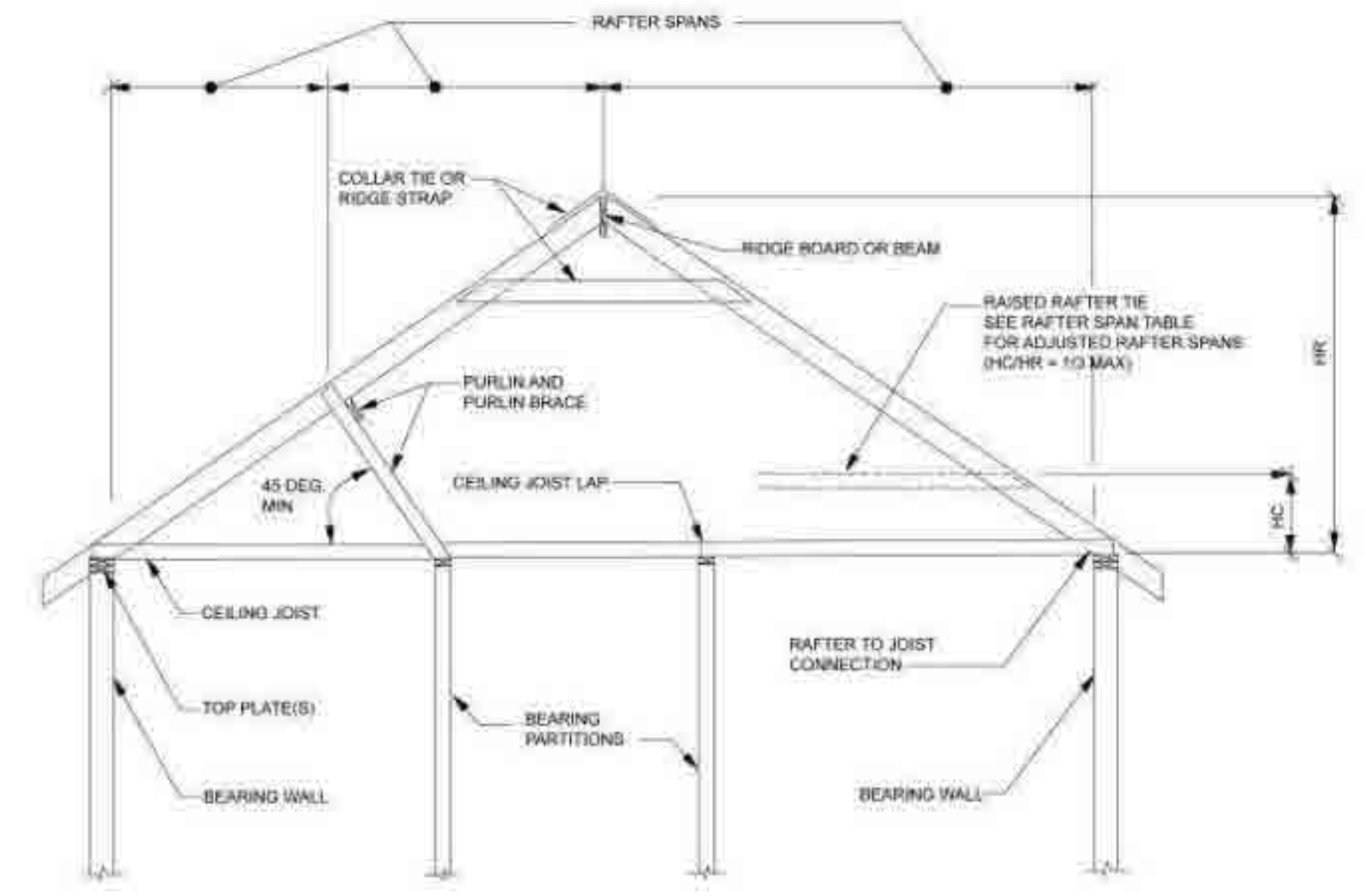


④ REAR LEFT VIEW



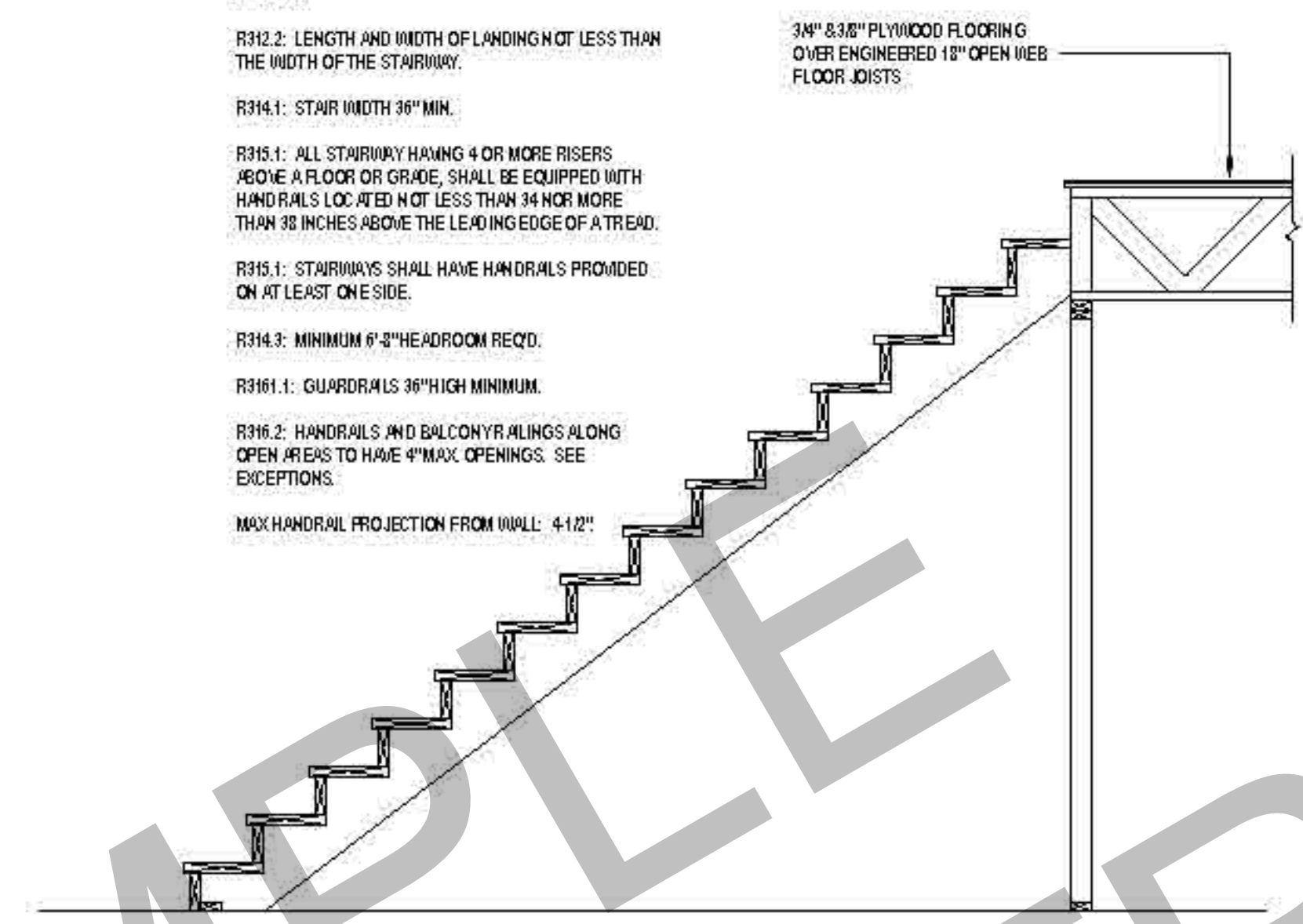
⑤ REAR RIGHT VIEW

NOTE:  
 IMAGINATION DESIGNS, LLC DOES NOT MAKE A SITE VISIT OR INVESTIGATE THE SLOPE OF THE LAND OR OTHER OBSTACLES THAT REQUIRE ADJUSTMENT TO THE PLACEMENT OF THE HOME, SIDEWALKS, FENCES, DRIVEWAYS, TREES, OR MAILBOXES ON THE LOT. BUILDER TO VERIFY ALL SETBACKS AND EASEMENTS AND PROPERTY LINES ARE CORRECT AND NOTIFY THE DESIGNER OF ANY CORRECTION NECESSARY. CONTRACTOR AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS IMAGINATION DESIGNS, LLC FOR ANY PROBLEMS THAT MAY ARISE BEFORE, DURING, OR AFTER THE CONSTRUCTION OF THIS RESIDENCE, AND SHALL ASSUME FULL RESPONSIBILITY FOR ALL ENGINEERING AND CITY CODE CONSTRUCTION PARAMETERS. CONTRACTOR SHALL VERIFY AND ASSUME FULL RESPONSIBILITY FOR ALL DIMENSIONS AND SPECIFICATIONS ON THESE PLANS. START OF WORK SHALL MEAN FULL ACCEPTANCE OF THESE TERMS.

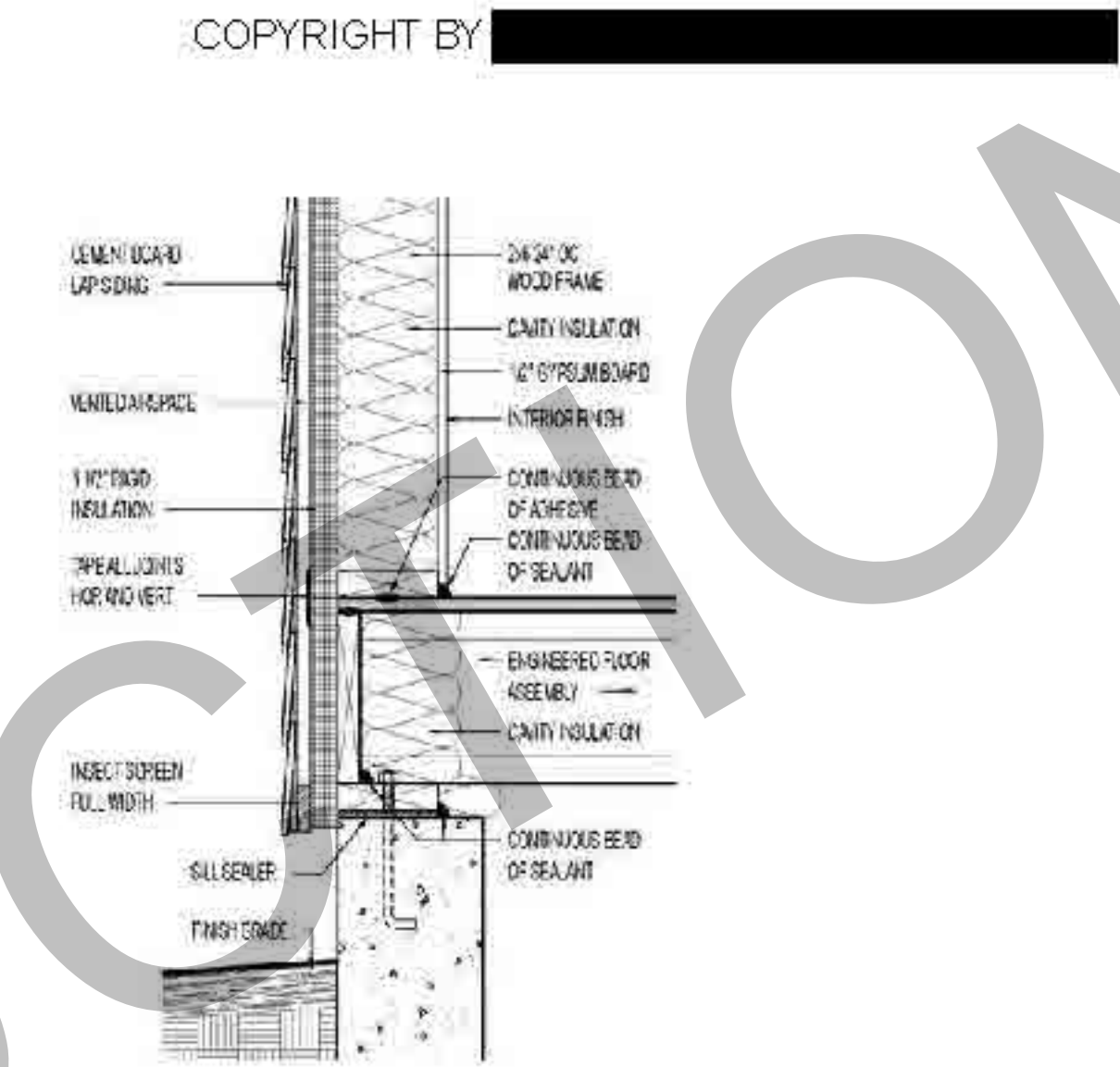


PURLIN FRAMING IRC R802.4.5  
 1/2" = 1'-0"

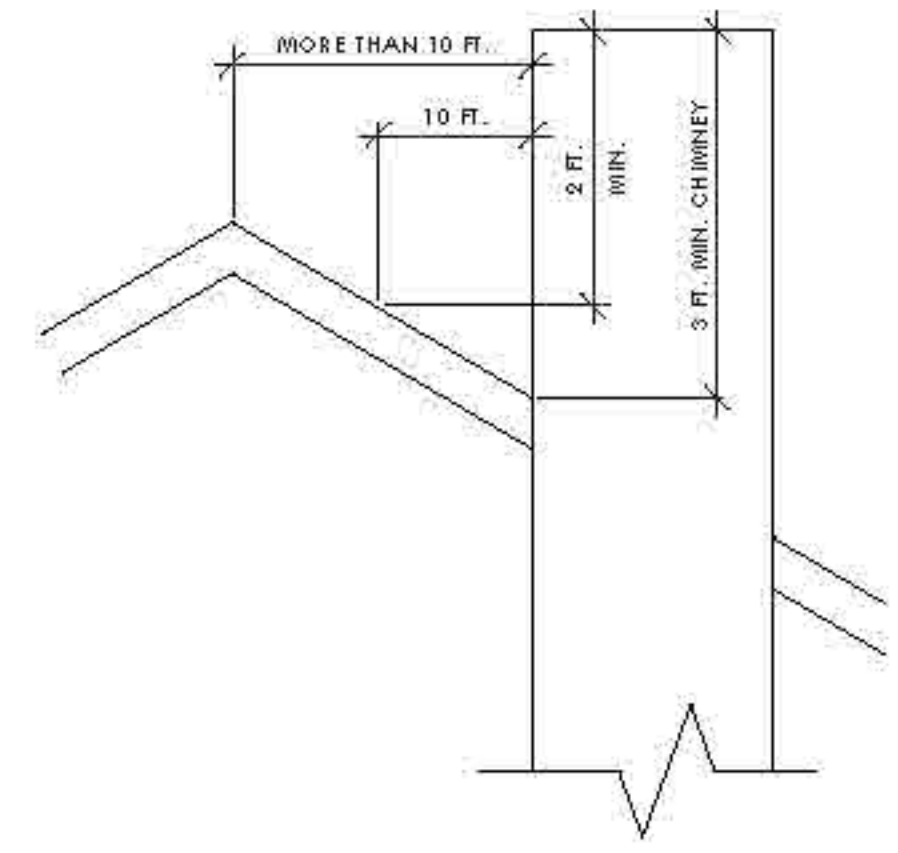
NOTES:  
 R314.2: TREAD WIDTH 10" MIN. WITH A 1" NOSING. RISER HEIGHT 7.38" MAX. TREADS AND RISERS SHALL BE UNIFORM.  
 R312.2: LENGTH AND WIDTH OF LANDING NOT LESS THAN THE WIDTH OF THE STAIRWAY.  
 R314.1: STAIR WIDTH 36" MIN.  
 R315.1: ALL STAIRWAY HAVING 4 OR MORE RISERS ABOVE A FLOOR OR GRADE, SHALL BE EQUIPPED WITH HANDRAILS LOCATED NOT LESS THAN 34 NOR MORE THAN 38 INCHES ABOVE THE LEADING EDGE OF A TREAD.  
 R315.1: STAIRWAYS SHALL HAVE HANDRAILS PROVIDED ON AT LEAST ONE SIDE.  
 R314.3: MINIMUM 6" HEADROOM REQ.  
 R316.1: GUARDRAILS 36" HIGH MINIMUM.  
 R316.2: HANDRAILS AND BALCONY RAILINGS ALONG OPEN AREAS TO HAVE 4" MAX OPENINGS. SEE EXCEPTIONS.  
 MAX HANDRAIL PROJECTION FROM WALL: 4 1/2"



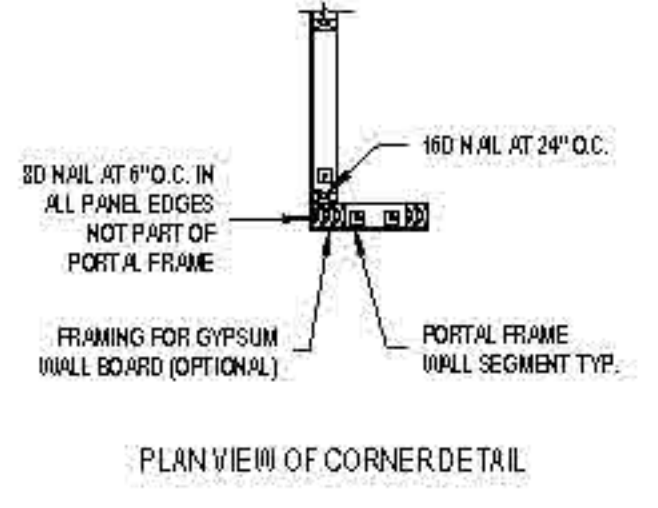
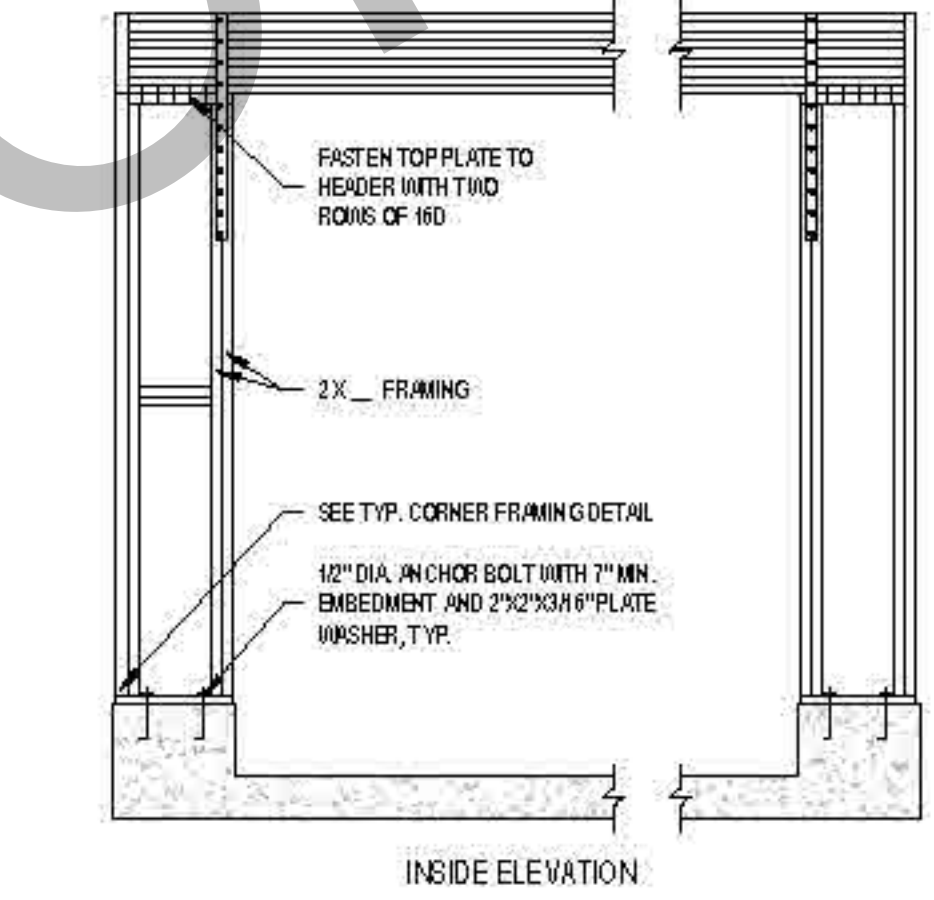
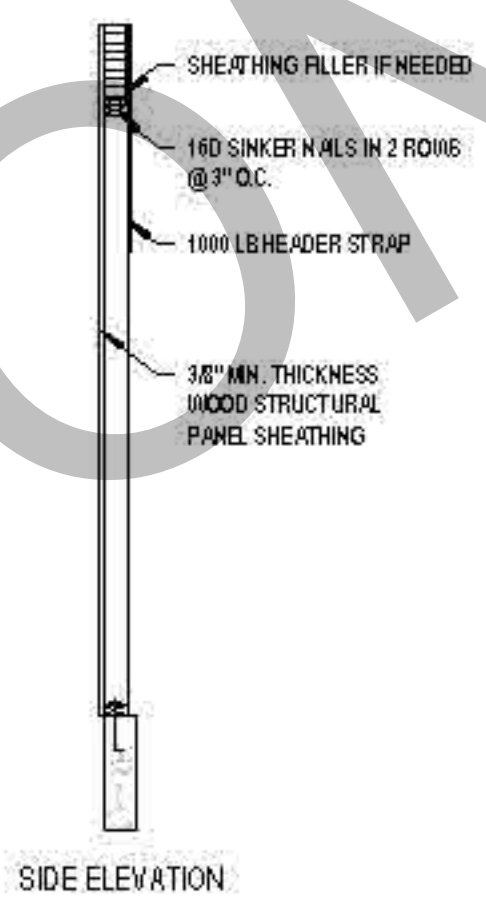
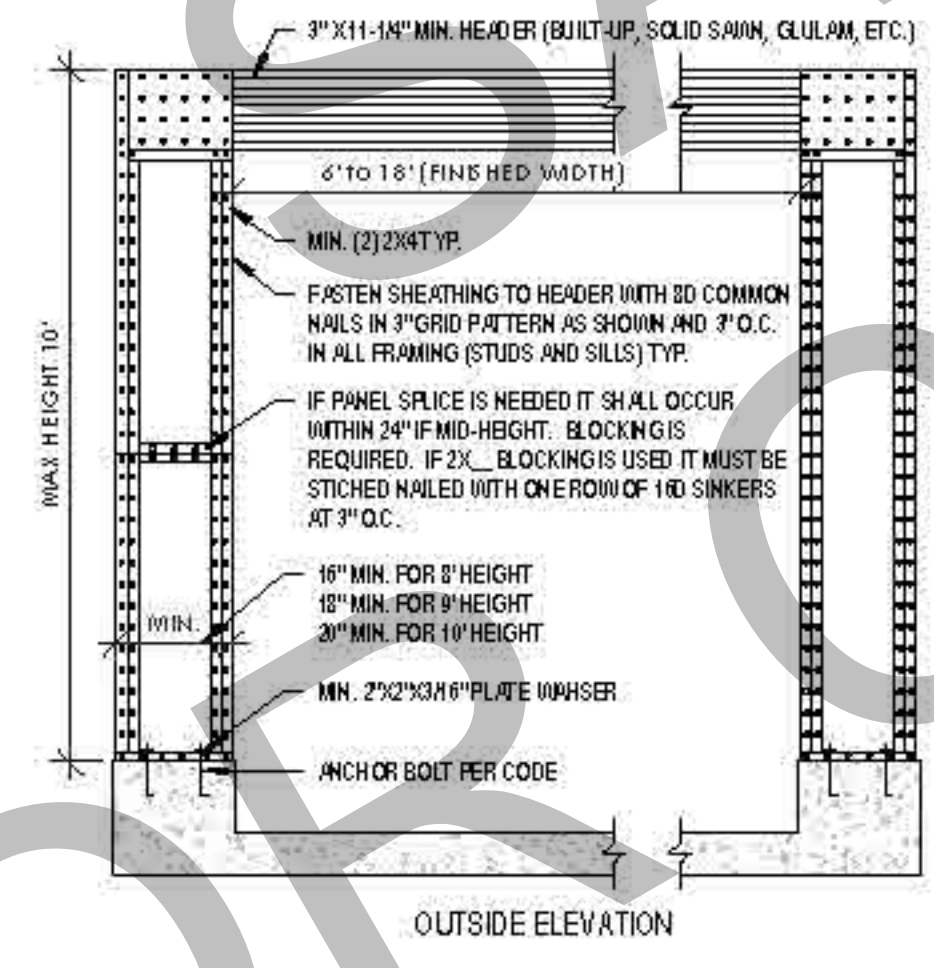
STAIR DETAILS  
 1/2" = 1'-0"



OPTIONAL ADVANCED FRAMING WITH RAIN SCREEN  
 1/2" = 1'-0"

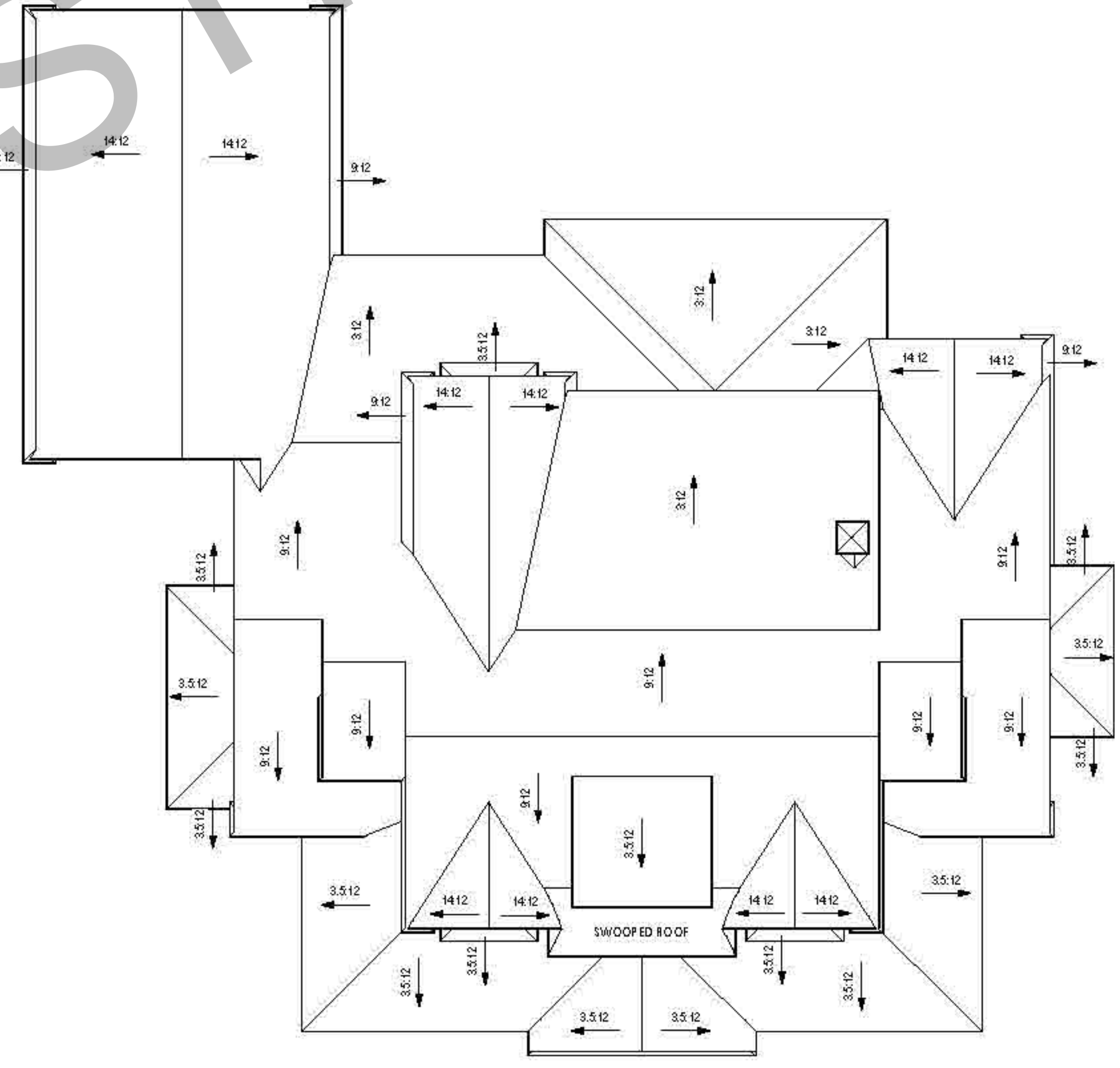


CHIMNEY REQUIREMENTS  
 1/2" = 1'-0"

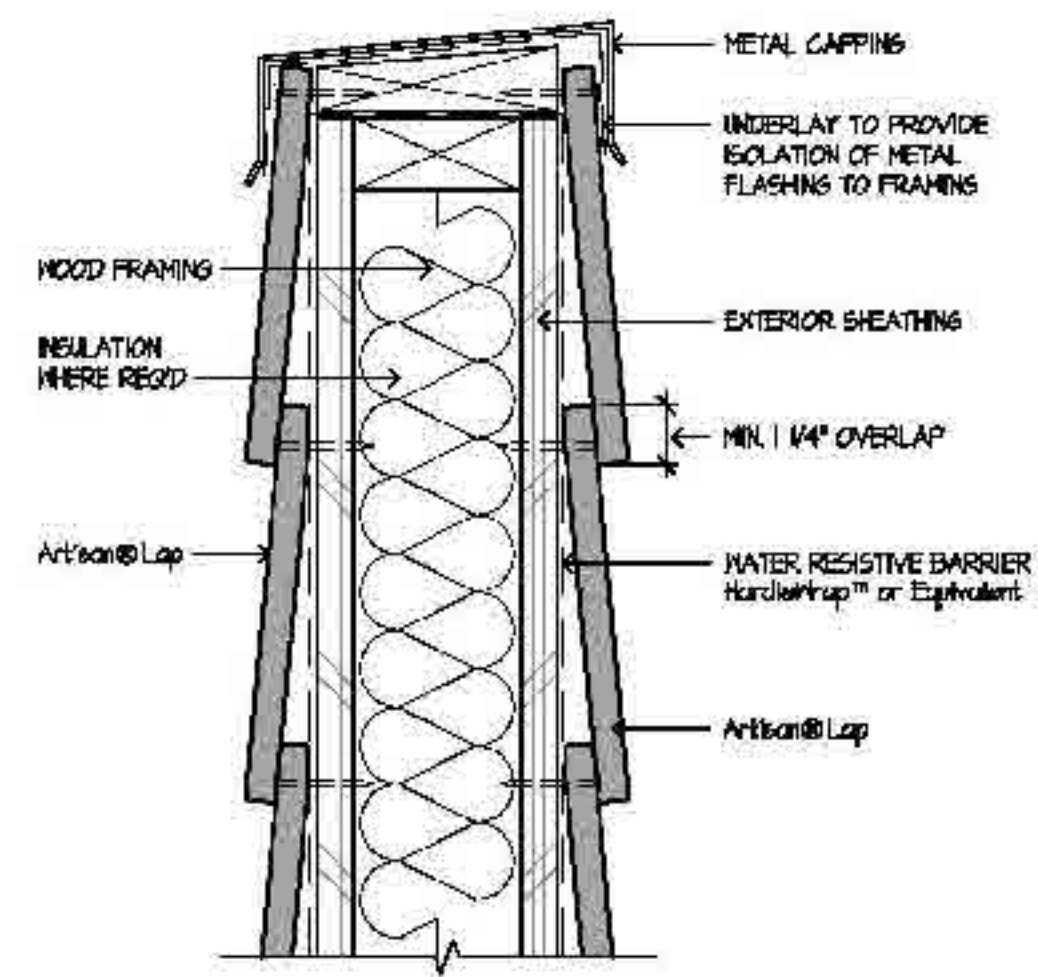


NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALLS FULLY SHEATHED WITH PLYWOOD OR OSB

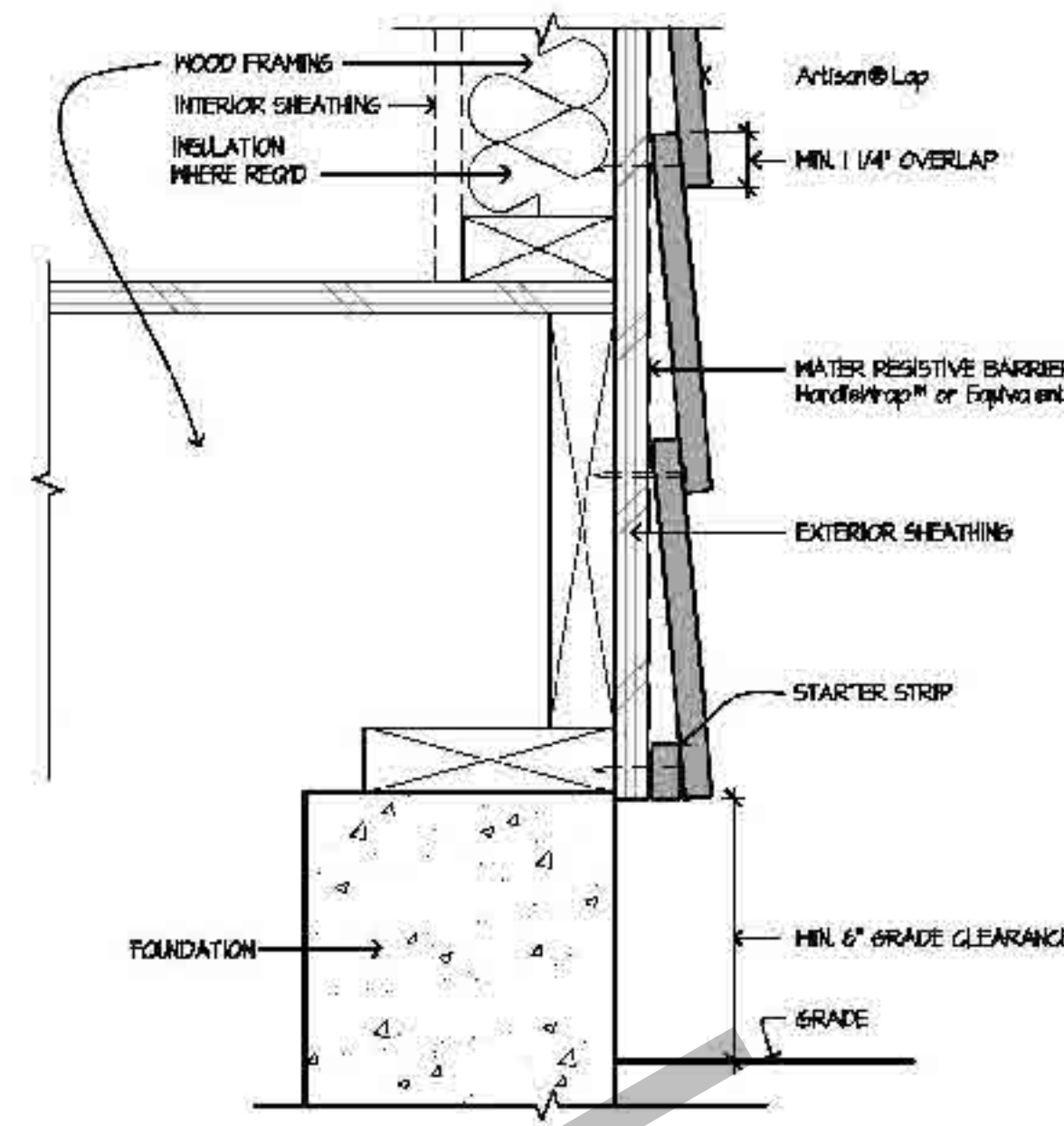
NARROW WALL FRAMING  
 1/2" = 1'-0"



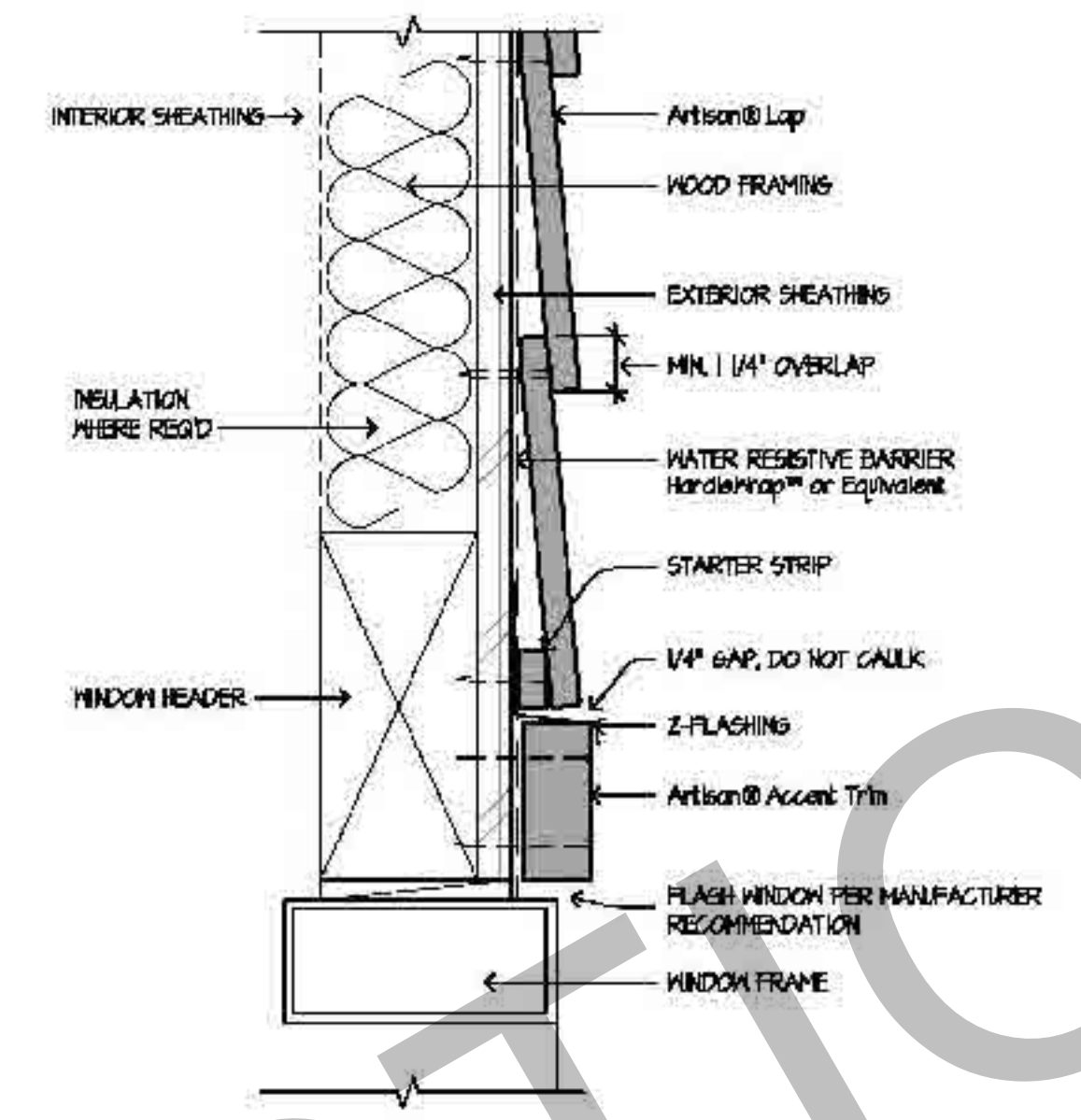
ROOF PLAN  
 1/8" = 1'-0"



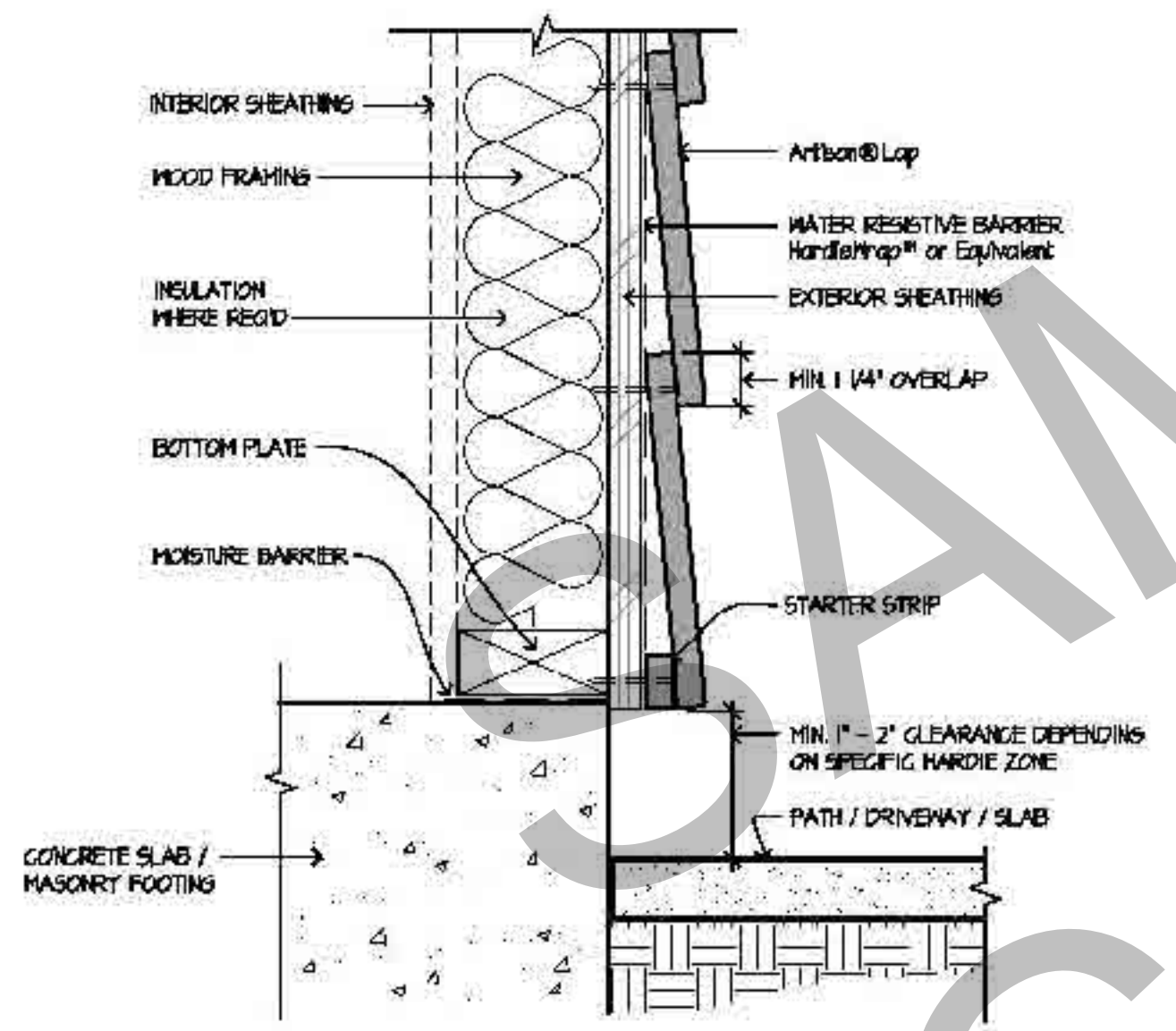
9 PARAPET  
SCALE: 3/4\"/>



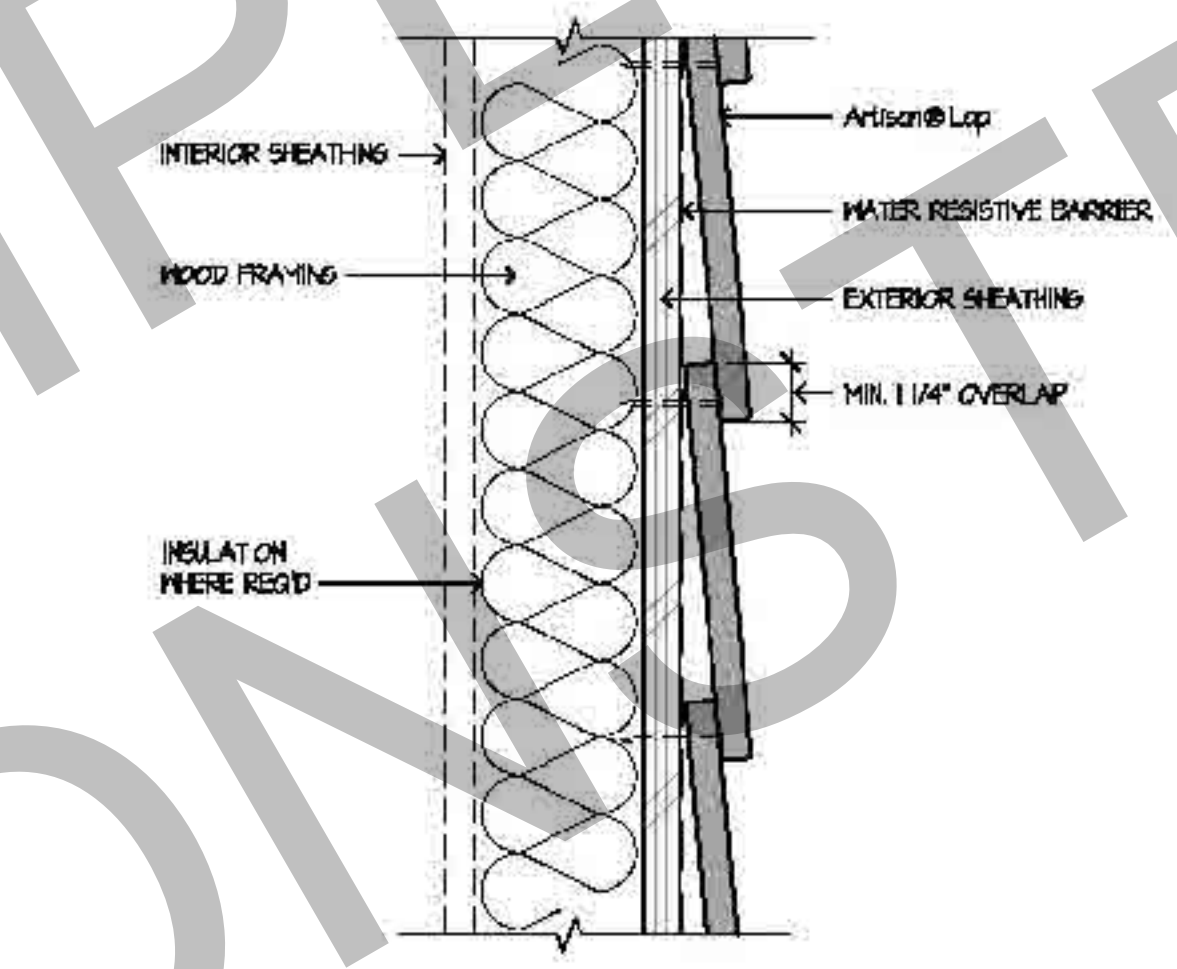
6 GRADE CLEARANCE  
SCALE: 3/4\"/>



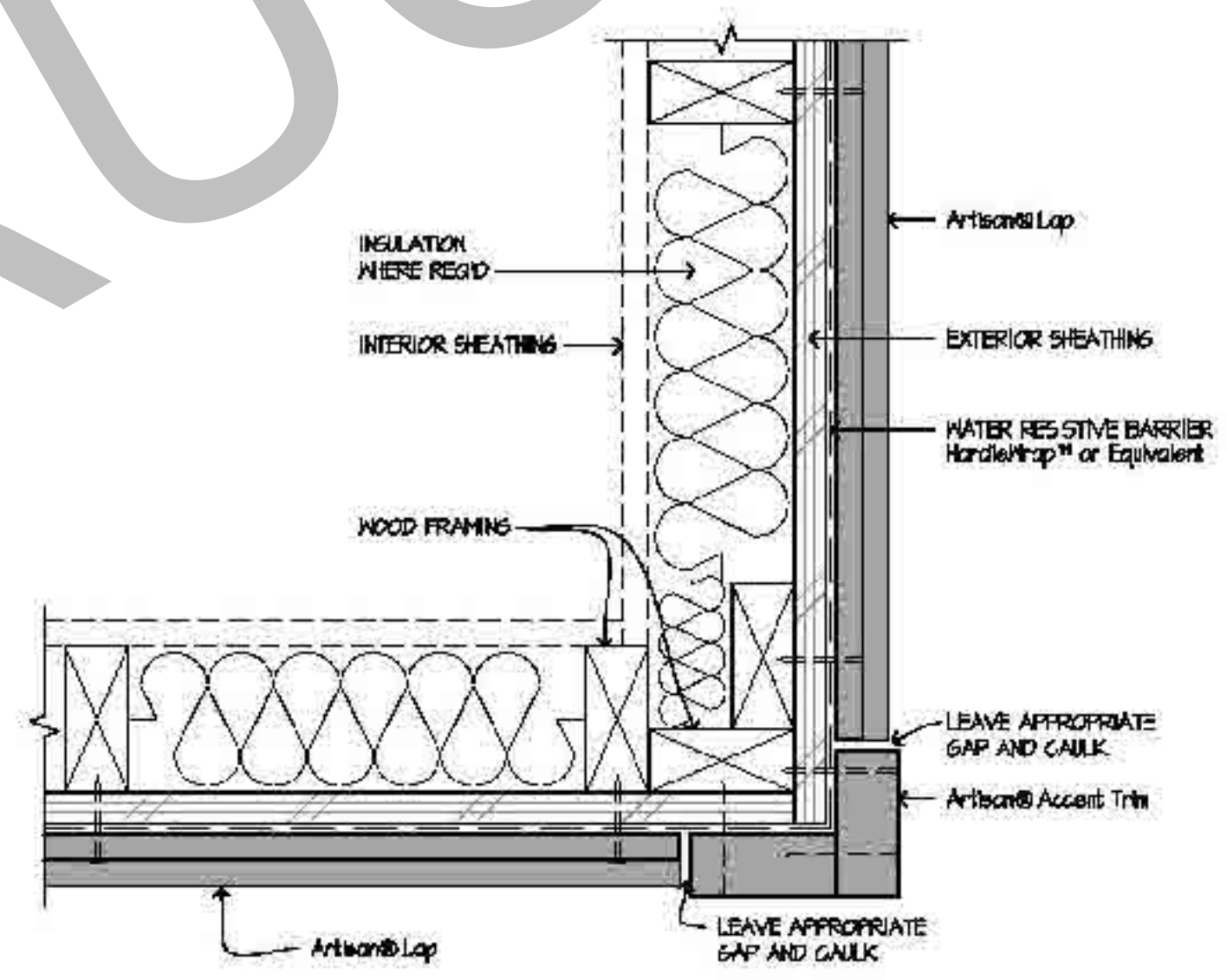
3 WINDOW/DOOR HEAD  
SCALE: 3/4\"/>



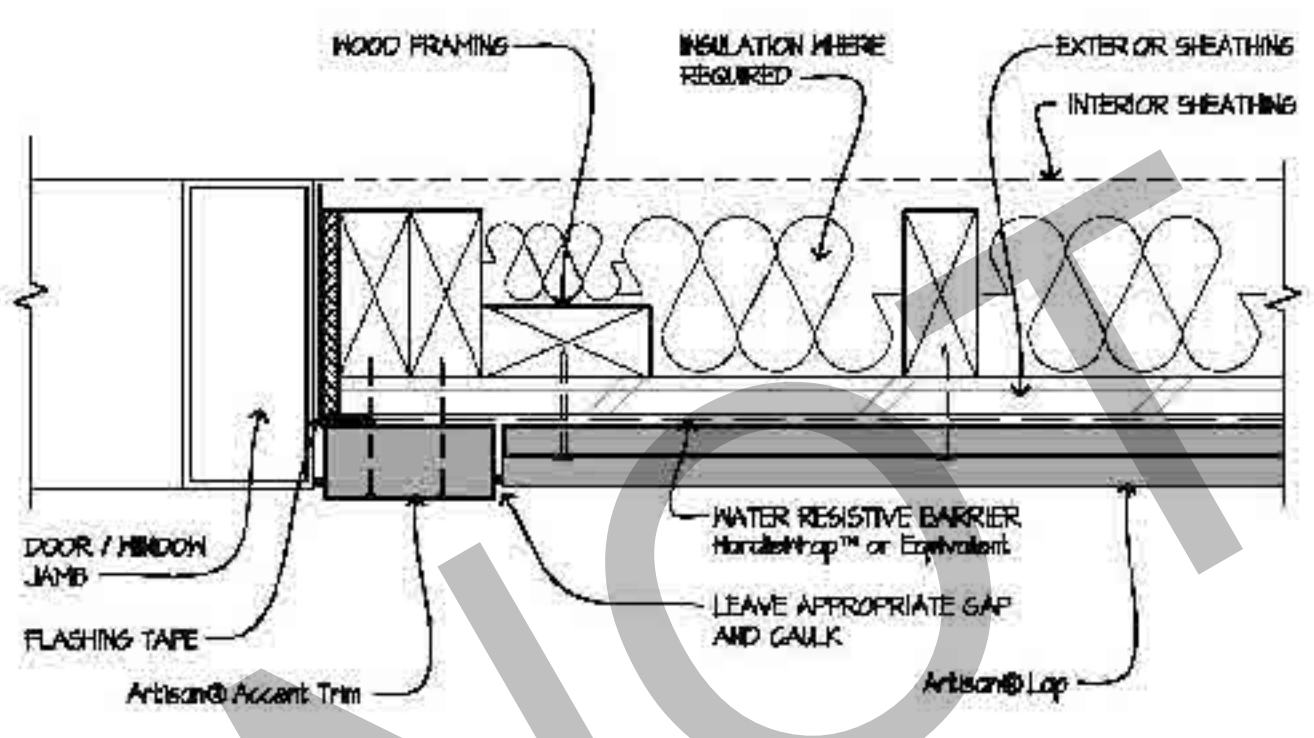
8 HARDSCAPE CLEARANCES, DECKS, PORCHES, PATIOS, WALKWAYS, ROOFS, ETC.  
SCALE: 1/2\"/>



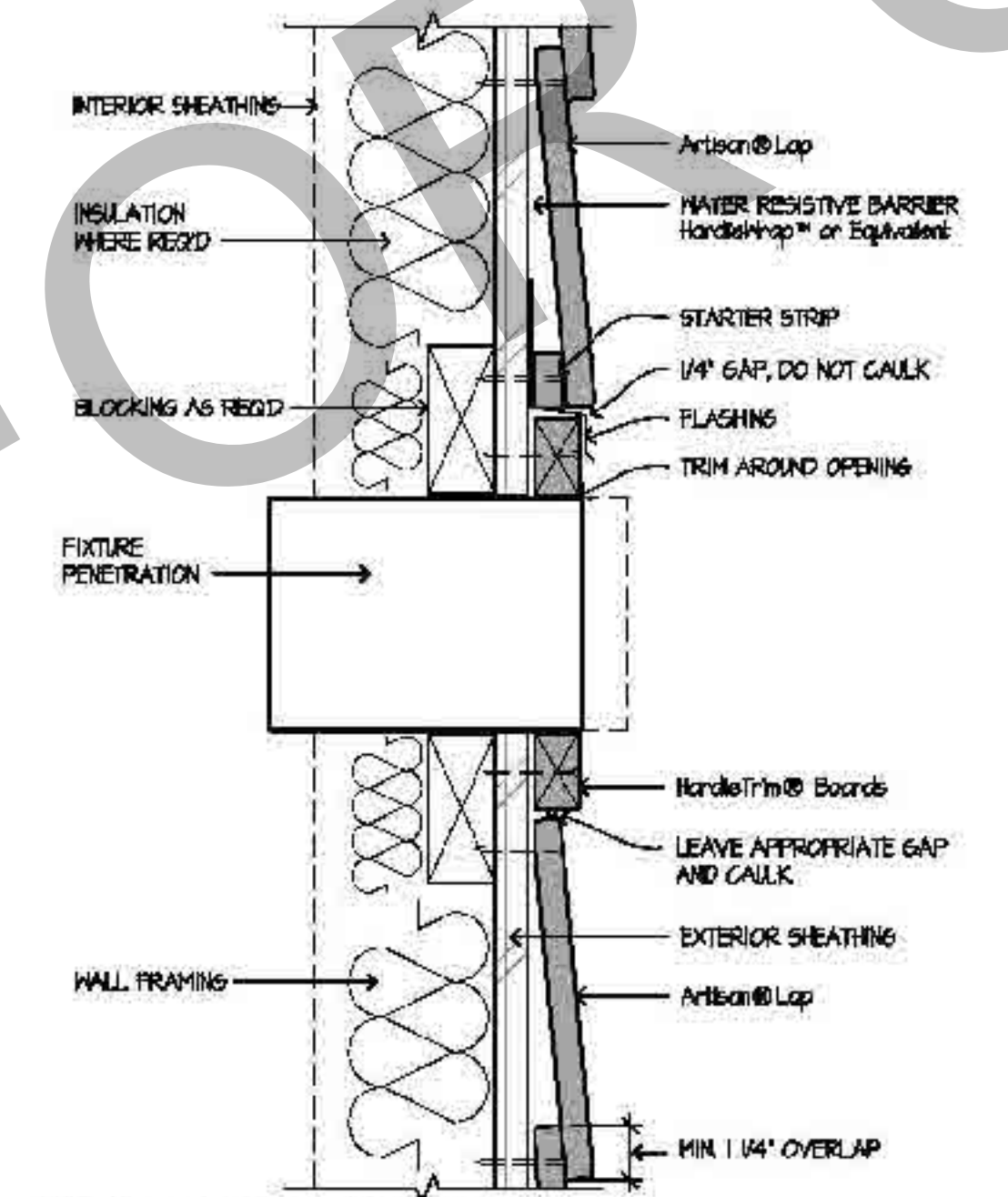
5 HORIZONTAL LAP VIEW  
SCALE: 3/4\"/>



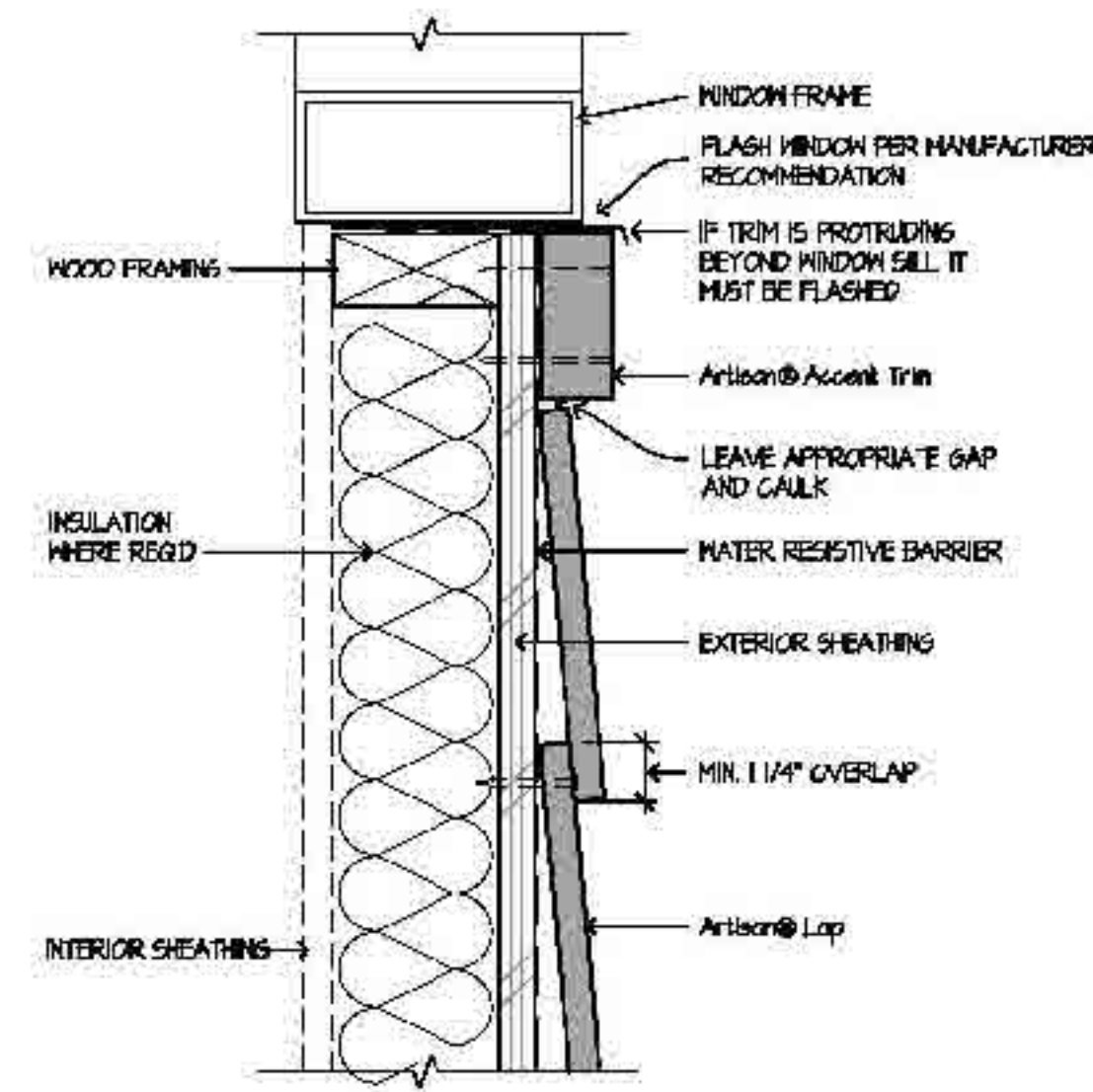
2 OUTSIDE CORNER  
SCALE: 3/4\"/>



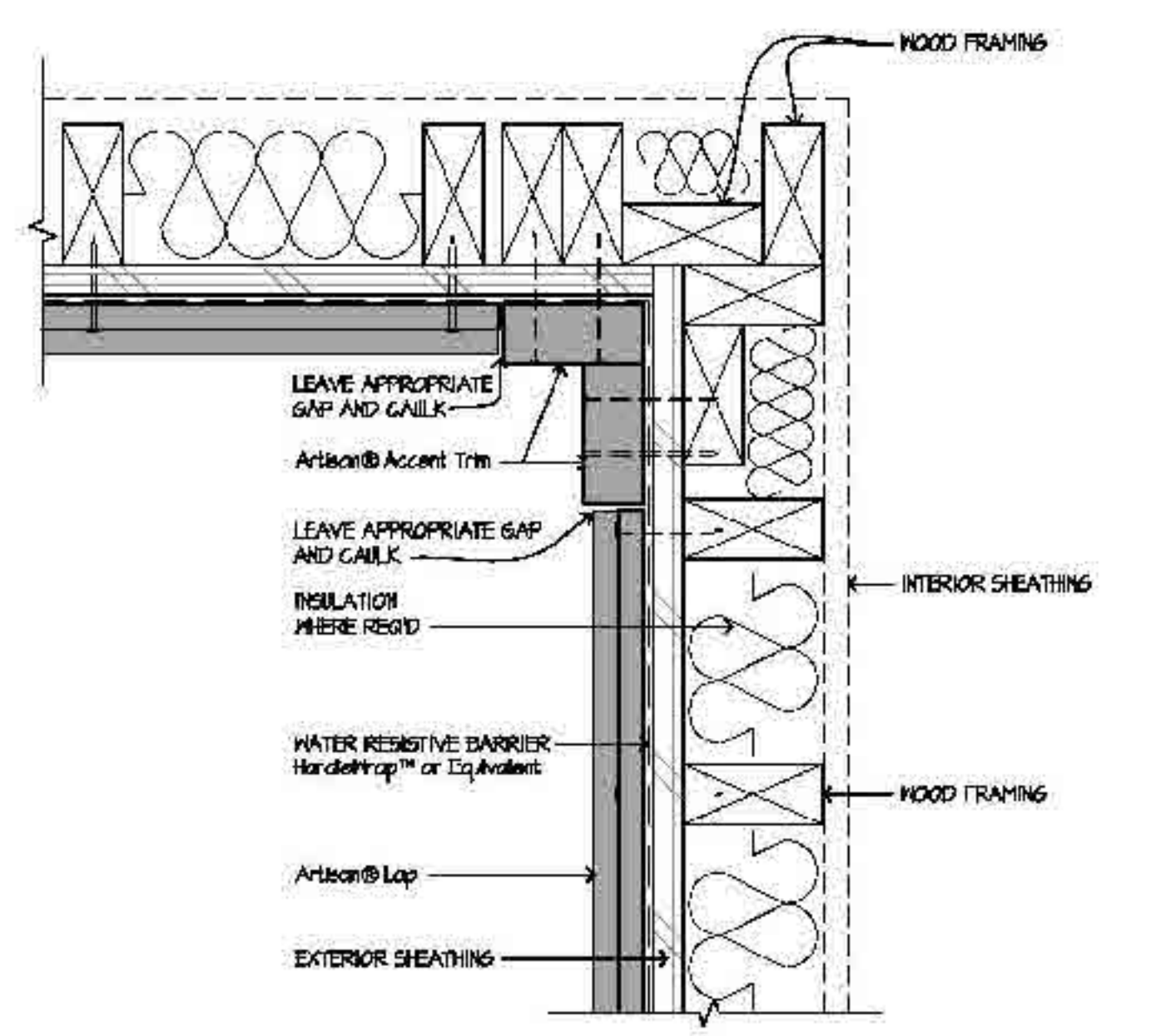
10 DOOR / WINDOW JAMB  
SCALE: 3/4\"/>



7 FIXTURE PENETRATION  
SCALE: 3/4\"/>



4 WINDOW SILL  
SCALE: 3/4\"/>

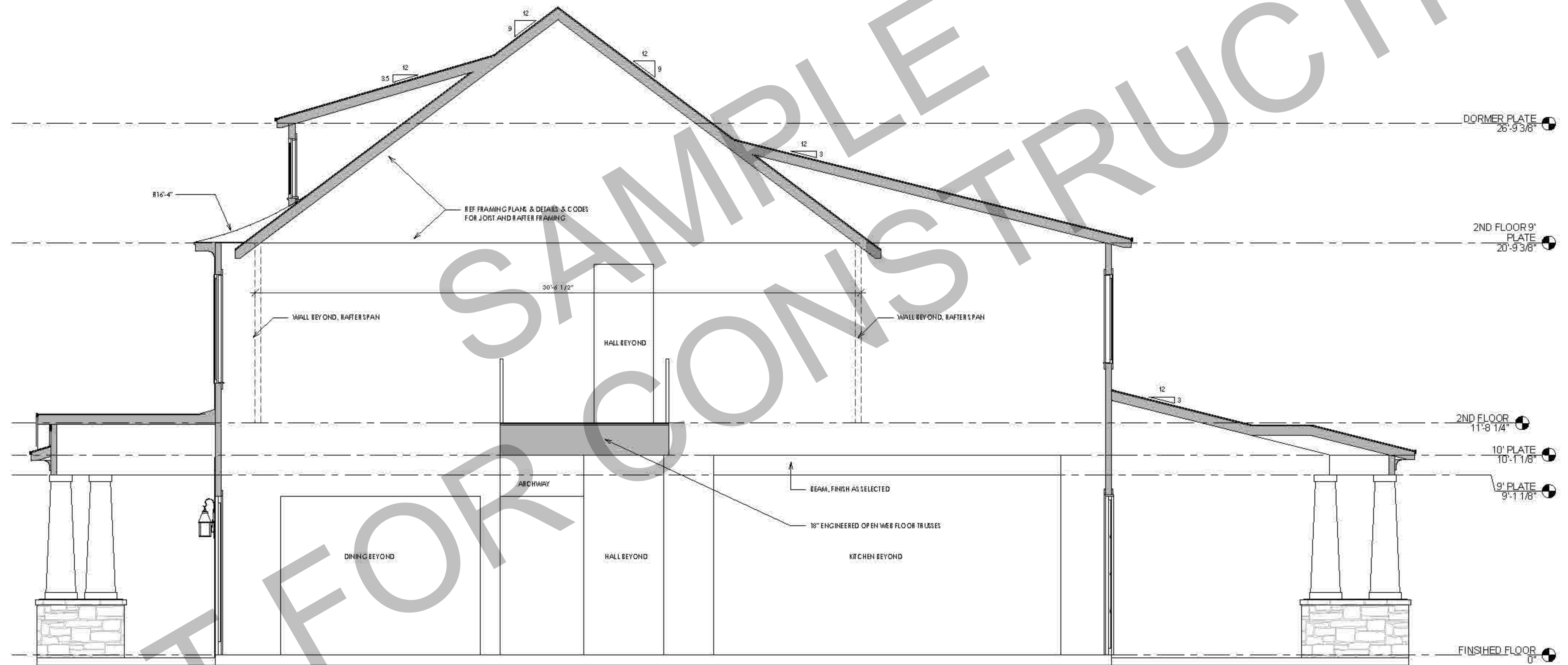


1 INSIDE CORNER  
SCALE: 3/4\"/>

These drawings are published as an information guide only. These CAD drawings are intended as templates to assist the designer. They do not contain the full details required for construction and must be read in conjunction with the installation instructions on the product. You should obtain architectural, engineering or other technical advice to assess the suitability of these drawings to the requirements of your particular project. James Hardie accepts no liability in respect to the use of these drawings.

- Wood Framing
- OSB or Plywood Sheathing
- Shown with Siding Nails Blind Fastened into Framing

DRAWN
CHECKED
DATE
SCALE AS NOTED
JOB NO.
SHEET

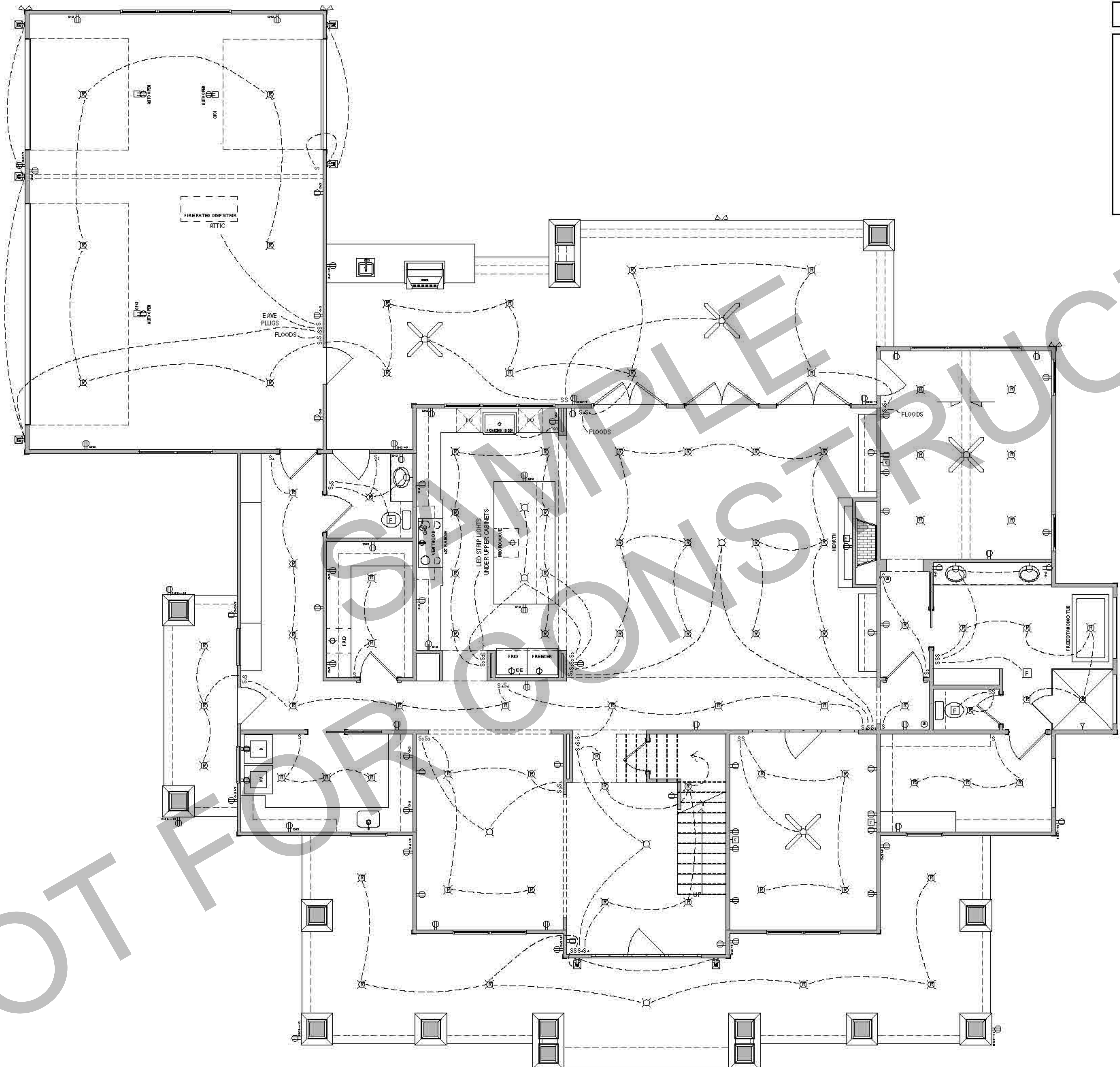


1 Section 1  
3/6" = 1'-0"

NOT FOR CONSTRUCTION



SYMBOLS			
	120V DUPLEX RECEPTACLE		WALL MOUNT LIGHT FIXTURE
	120V/20A SINGLE RECEPTACLE		RECESSED LIGHT FIXTURE
	QUADPLEX RECEPTACLE		LIGHT FIXTURE
	200V/15A RECEPTACLE		FLOOD LIGHT
	120V GFCI DUPLEX RECEPTACLE		FLUORESCENT LIGHT FIXTURE
	120V GFCI SINGLE RECEPTACLE		TELEPHONE
	120V GFCI WEATHER PROOF RECEPTACLE		TELEVISION
	120V SWITCHED EAVE RECEPTACLE		FAN VENTED OUTSIDE
	SINGLE SWITCH		SPEAKER
	3-WAY SWITCH		SMOKE & CARBON MONOXIDE DETECTOR/COMBO
	4-WAY SWITCH		HOSE BIB
	DIMMER SWITCH		

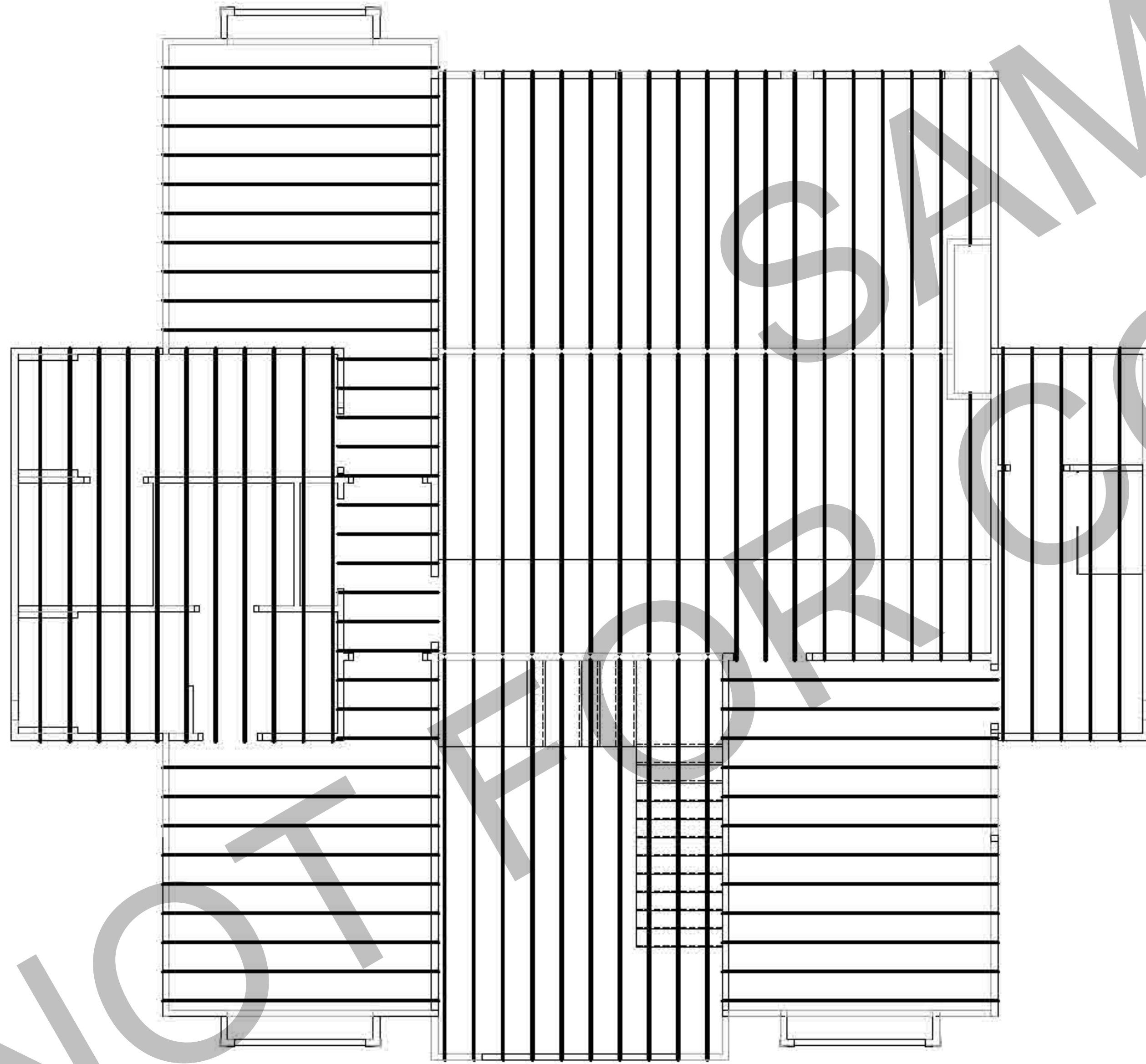


SCALE: 1/4" = 1'-0"

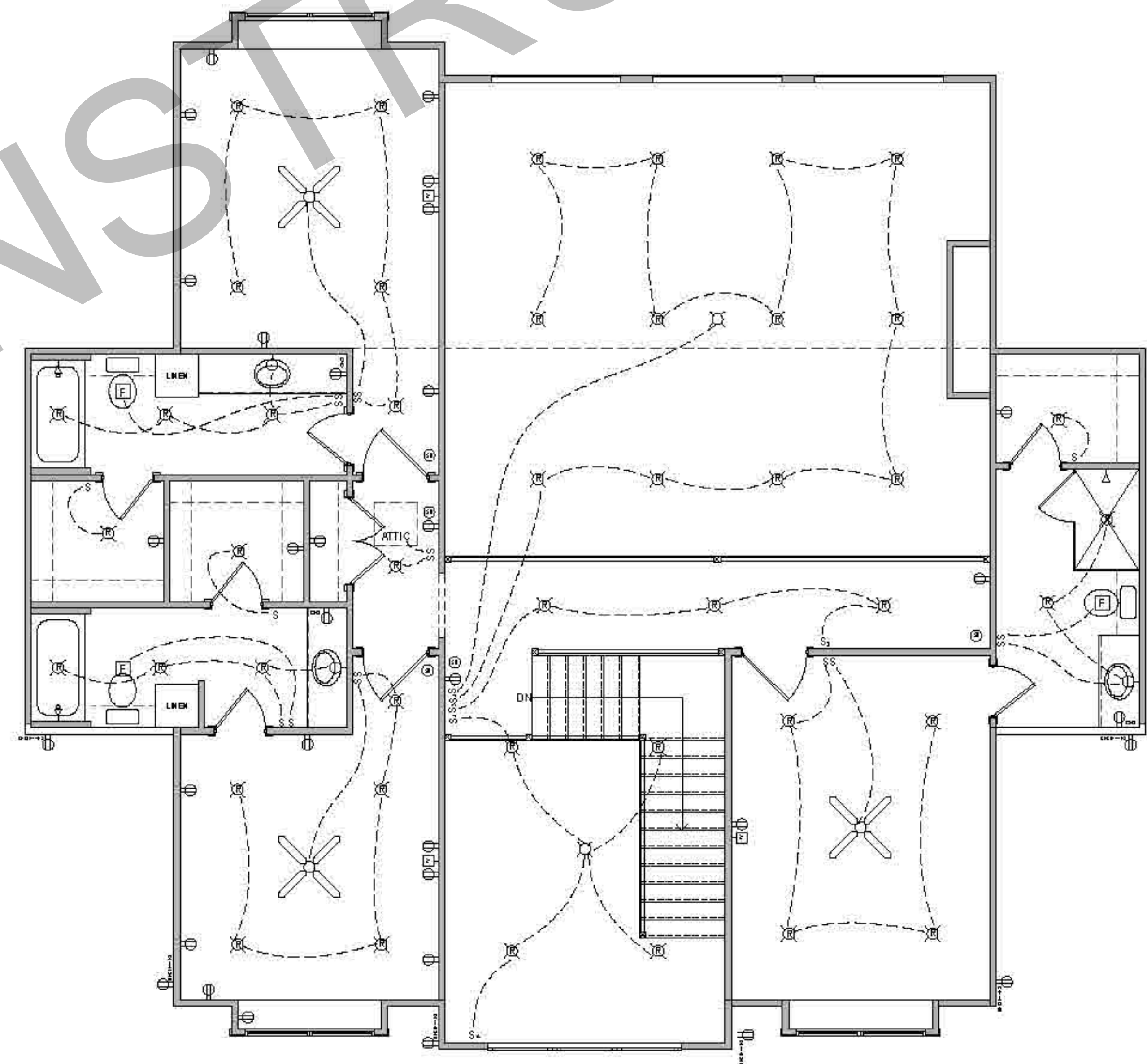
**GENERAL NOTES:**

1. ALL FRAMING SHALL BE PER LOCAL BUILDING CODES
2. CONSULT ALL SPANS WITH LOCAL BUILDING CODES
3. ALL JOISTS & RAFTERS SHALL BE BRACED PER LOCAL BUILDING CODES
4. ALL FASTENERS, STRAPS, NAILS, ETC PER LOCAL BUILDING CODES
5. JOIST, BEAM, & RAFTER SIZING PER LOCAL BUILDING CODES
6. JOIST HANGERS PER LOCAL BUILDING CODES
7. HEADERS PER LOCAL BUILDING CODES
8. ALL FLOOR TRUSSES IF APPLICABLE SHALL BE ENGINEERED BY TRUSS MANUFACTURER AND INSTALLED PER THEIR SPECIFICATIONS
9. ALL RAFTER / CEILING TRUSSES IF USED SHALL BE ENGINEERED BY MANUFACTURER AND INSTALLED PER THEIR SPECIFICATIONS
10. JOISTS ARE DRAMIN AT 16" O.C. RAFTERS DRAMIN AT 24" O.C.
11. SHAVE JOINT AT JOISTS AND JOIST HANGERS SO BOTTOM OF HANGER METAL IS FLUSH WITH THE BOTTOM OF THE REST OF THE JOIST TO AVOID SHEETROCK ISSUES.
12. THIS IS A GENERAL LAYOUT AND WILL NOT BE DETAILED ENOUGH TO CORRECT FOR RAFTER VALLEYS HITTING JOISTS. FRAME AROUND AS NECESSARY.
13. DEAD WOOD NOT DEPICTED FOR SHEETROCK INSTALLATION. ENSURE ALL CORNERS ALLOW FOR ATTACHING SHEETROCK.
14. AT EXTERIOR WALL LOCATIONS WHERE A GABLE FACE OCCURS, CEILING JOIST SPACING IS DESIGNED TO ALIGN TO THE SIDE OF THE RAFTERS, WITH THE FINAL RAFTER STARTING FLUSH WITH THE OUTSIDE FACE OF THE GABLE WALL. REFER ROOF FRAMING PLANS.
15. WHERE POSSIBLE, JOIST LAYOUT IS INTENDED TO ALLOW FOR A FULL SHEET OF SHEETROCK AT ONE END AND WORK ITS WAY DOWN.
16. 16" O.C. SPACING IS INTENDED TO ALIGN WITH 24" RAFTER SPACING, AND ALLOW FOR 1/2" SHEETROCK. IF 24" JOIST SPACING IS USED, 5/8" SHEETROCK WILL BE NECESSARY.

**SYMBOLS**

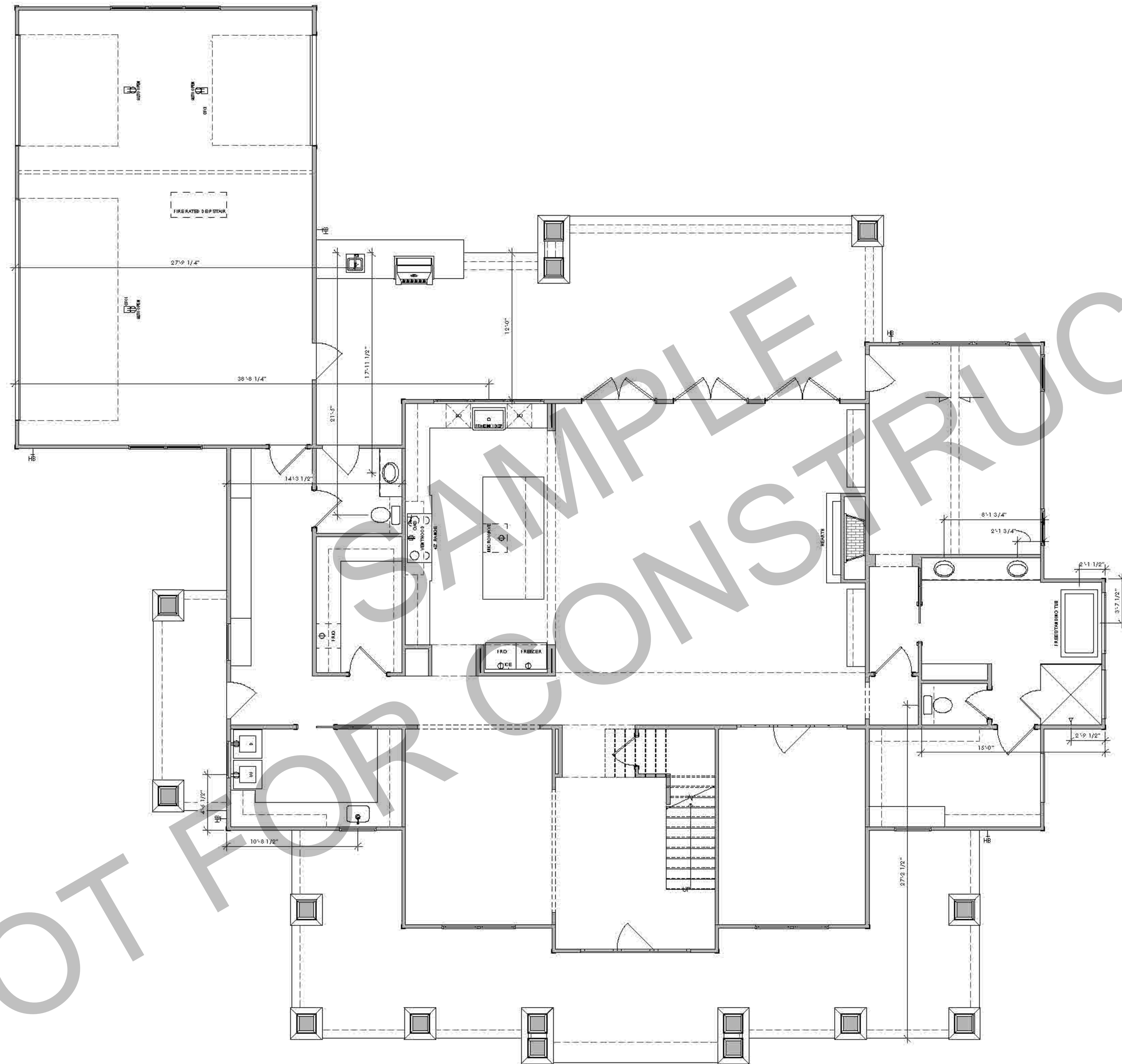



2 2ND FLOOR CEILING FRAMING  
1/4" = 1'-0"



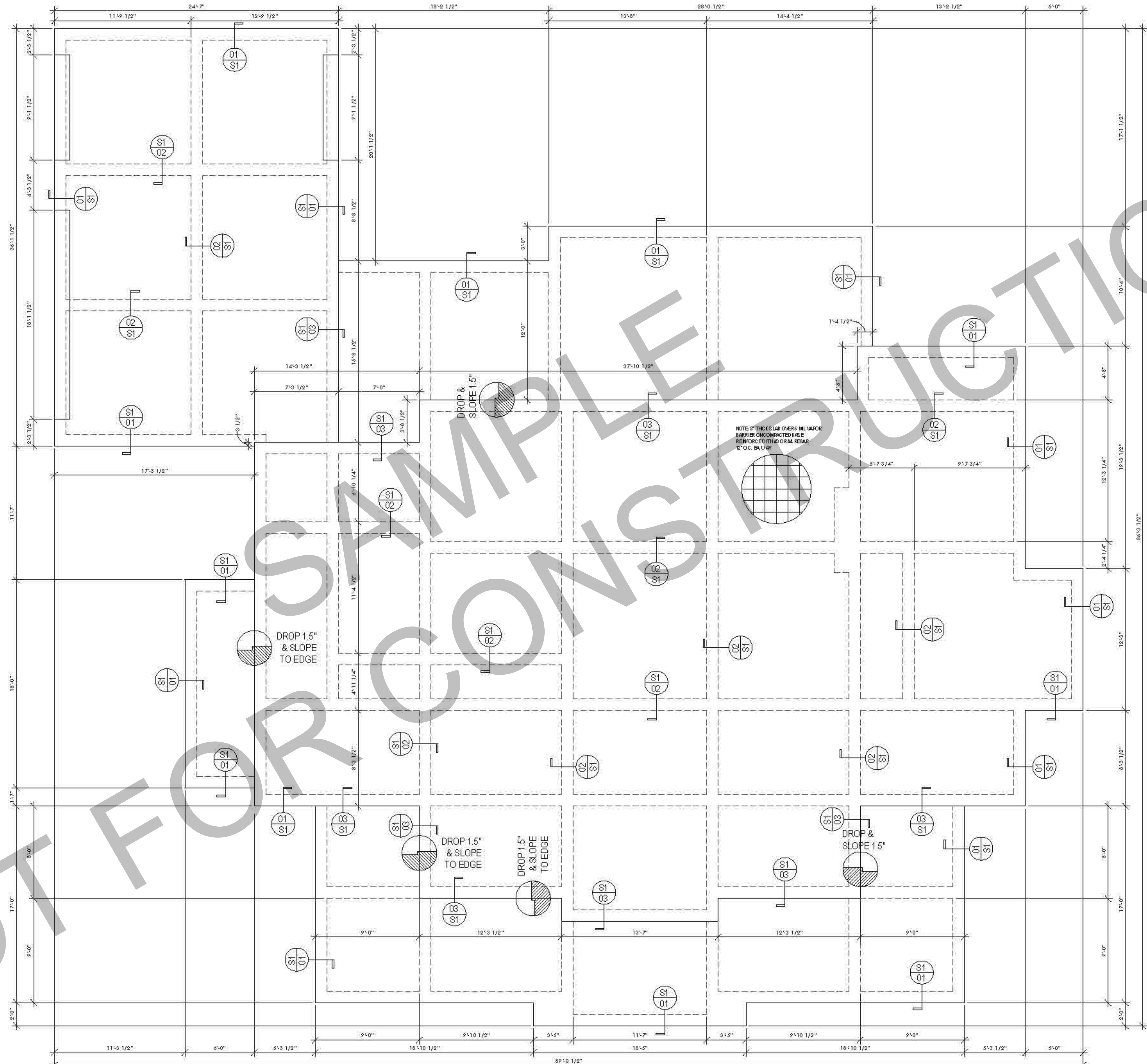
1 2ND FLOOR ELECTRICAL  
1/4" = 1'-0"

NOT FOR CONSTRUCTION



SCALE 1" = 1'-0"

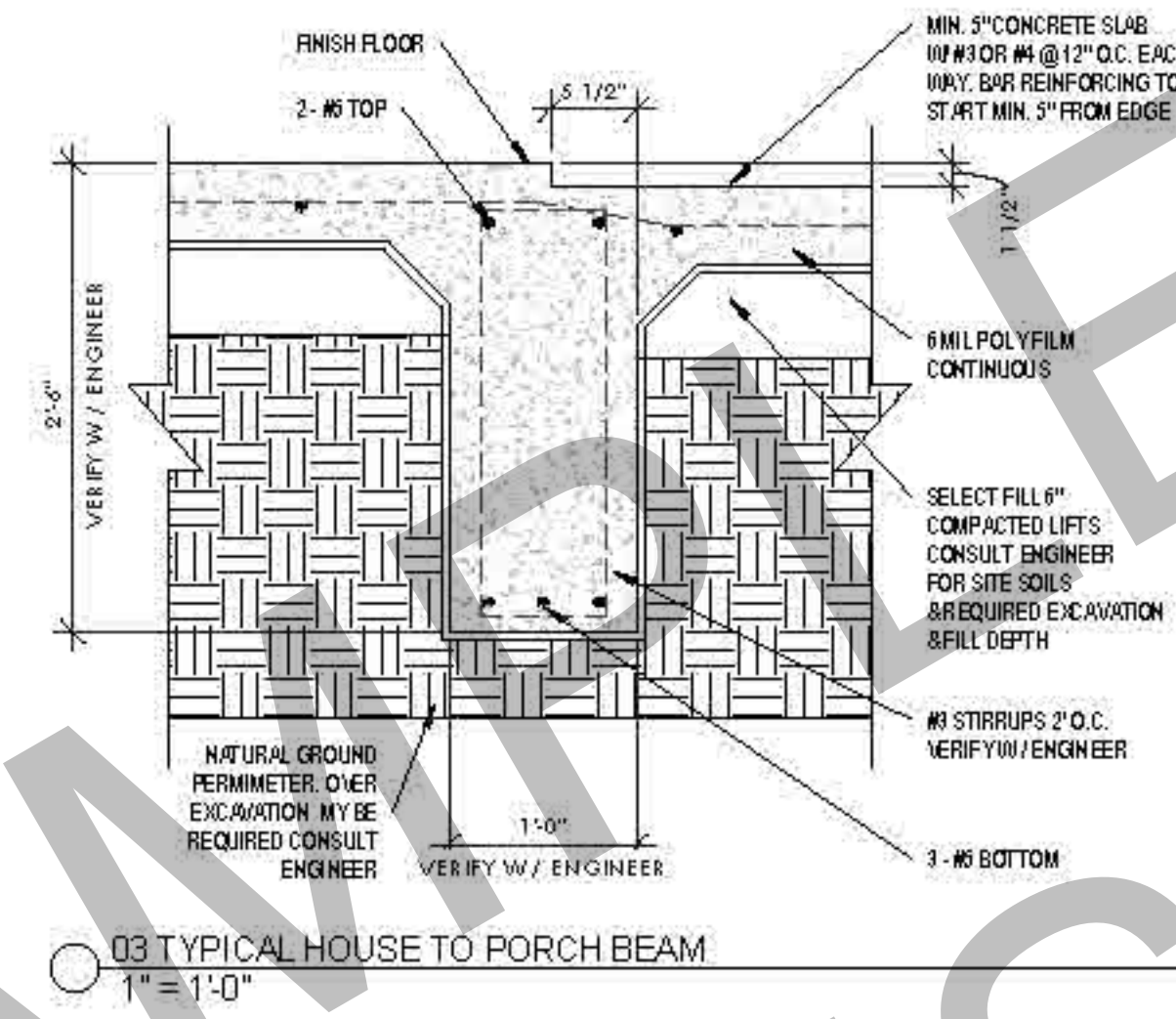
NOT FOR CONSTRUCTION



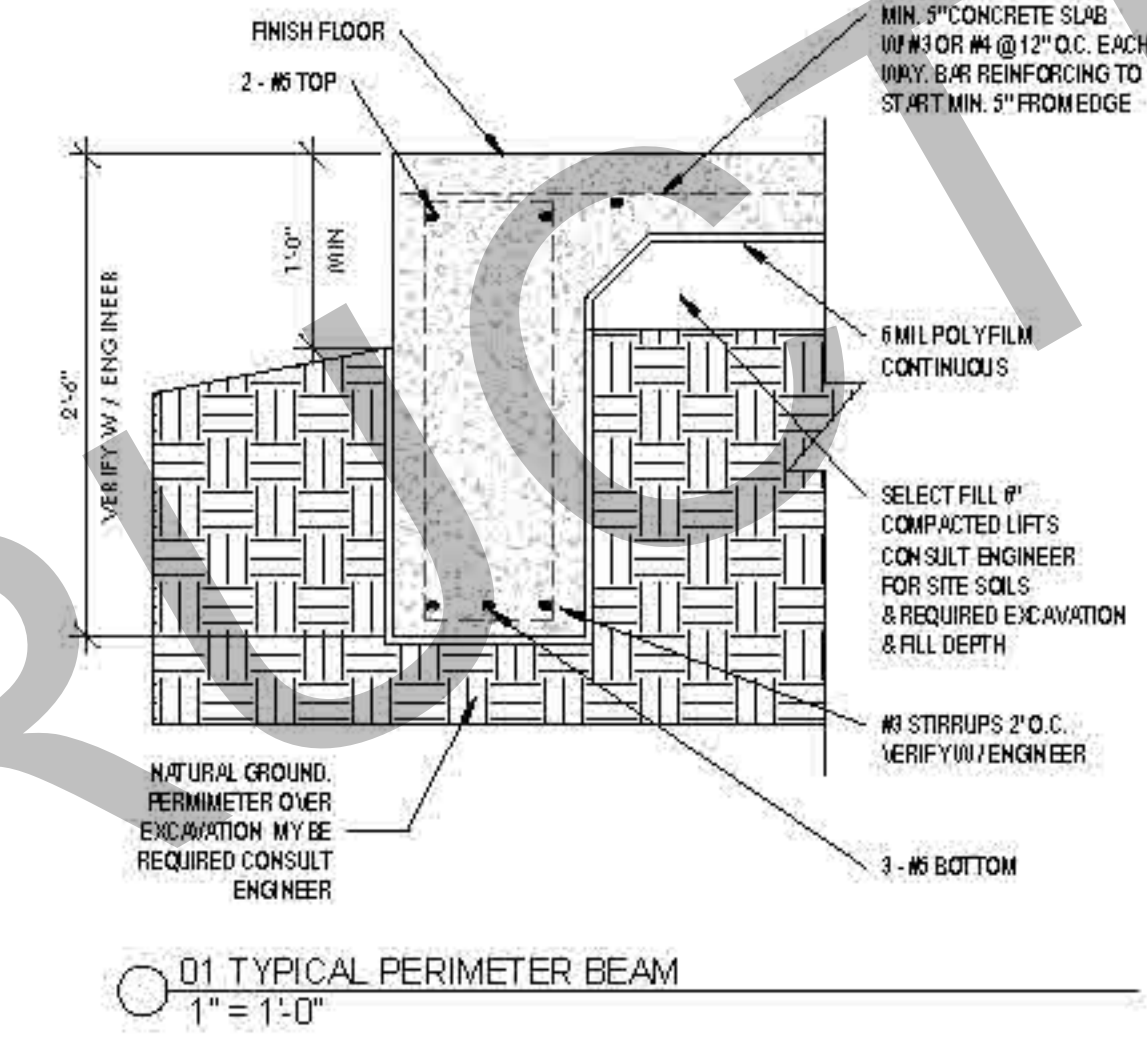
FOUNDATION  
1/4" = 1'-0"

**GENERAL NOTES:**

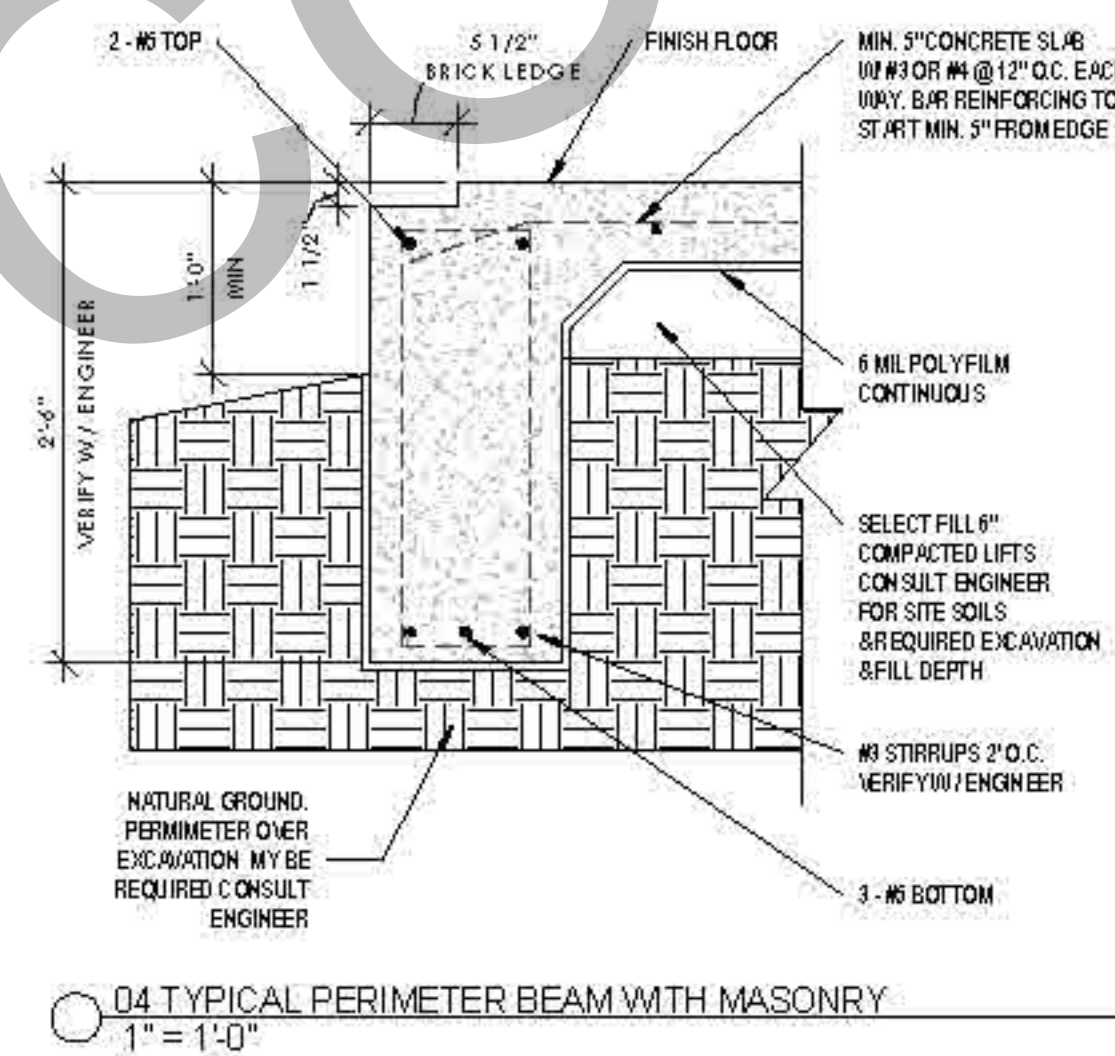
1. FOUNDATION DESIGN IS GENERAL AND NOT SPECIFIC FOR PARTICULAR SITE CONDITIONS. THEREFORE, BUILDER SHALL ASSUME RESPONSIBILITY FOR APPLICABILITY OF THIS FOUNDATION DESIGN. LOCAL CODES SUPERCEDE THIS DESIGN. IT IS HIGHLY RECOMMENDED A STRUCTURAL ENGINEER BE CONSULTED AND SOILS TEST BE PERFORMED. THERE MAY BE EXPANSIVE SOILS OR LACK OF STABLE ROCK REQUIRING PIERS, EXCAVATION AND SOIL REPLACEMENT, AND OTHER MEASURES TO CONTROL EXPANSION AND MOVEMENT OF SOILS.
2. CONTRACTOR SHALL VERIFY AND COORDINATE LOCATIONS OF ALL FIXED EQUIPMENT, ELECTRICAL RECEPTACLES, CONDUIT, PLUMBING LOCATIONS, AND THRESHOLD BLOCKOUTS.
3. REMOVE 6" MIN ROOTS, TOPSOIL, DEBRIS UNIFORMLY THROUGHOUT THE SITE.
4. GROUND SURFACE SHALL BE GRADED TO ENSURE ADEQUATE DRAINAGE OF SURFACE WATER AWAY FROM THE FOUNDATION. IN NO INSTANCE SHOULD WATER BE ALLOWED TO POND IN THE VICINITY OF THE FOUNDATION EITHER DURING OR AFTER CONSTRUCTION.
5. VERIFY ALL DIMENSIONS & SITE CONDITIONS PRIOR TO COMMENCING ANY WORK.
6. BOTTOMS OF ALL BEAMS SHALL EXTEND 6" MIN. INTO UNDISTURBED SOIL.
7. ALL CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
8. NO DEAD-END BEAMS ALLOWED.
9. ALL BEAM REINFORCEMENT SHALL EXTEND TO WITHIN 1.5" OF EXTERIOR FORMS.
10. BEAM REINFORCING SHALL BE TIED & SUPPORTED EVERY 3'-0" MIN.
11. LAP ALL BAR REINFORCING 40 DIAMETERS.
12. ALL REINFORCING TO BE CONTINUOUS.
13. ALL REINFORCING TO HAVE MIN OF 1.5" CONCRETE COVER.
14. FINISHED FLOOR SHALL BE MIN. 12" ABOVE EXISTING GRADE.
15. MIN. 5" CONCRETE SLAB W/ #3 OR #4 @ 12" O.C. ON CENTER EACH WAY. BAR DIAMETERS TO START MIN. 5" FROM EDGE.



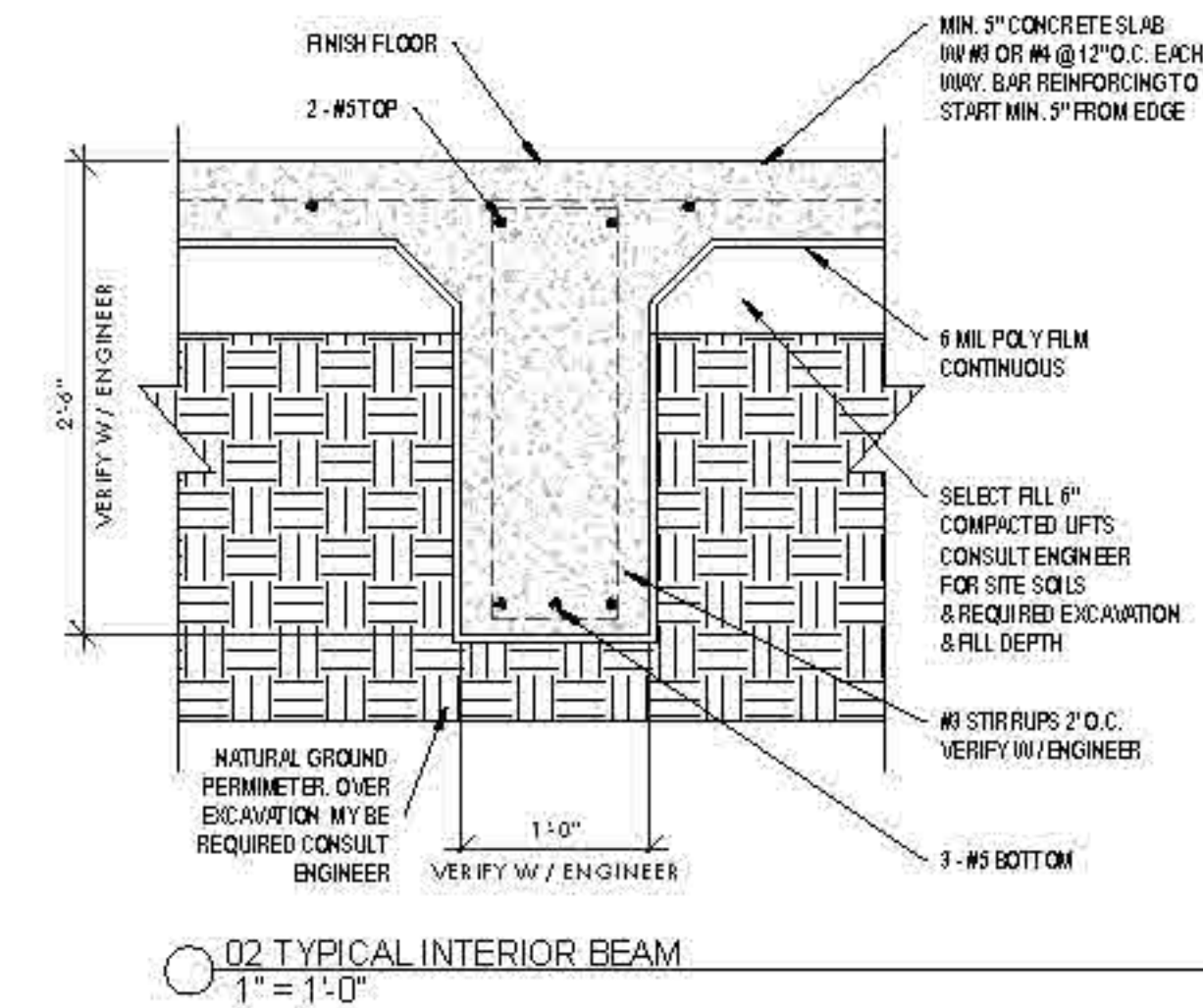
03 TYPICAL HOUSE TO PORCH BEAM  
1" = 1'-0"



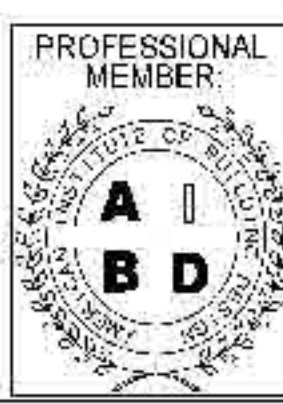
01 TYPICAL PERIMETER BEAM  
1" = 1'-0"



04 TYPICAL PERIMETER BEAM WITH MASONRY  
1" = 1'-0"



02 TYPICAL INTERIOR BEAM  
1" = 1'-0"



### FOUNDATION NOTES

- CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT FOUNDATION COMPLIES WITH ALL LOCAL BUILDING CODES PERTAINING TO REQUIRED SIZES, REINFORCING, FOOTING DEPTH, FOOTING THICKNESS, FOUNDATION WALL WATERPROOFING AND REQUIRED VENTILATION MINIMUMS. LOCAL CODE REQUIREMENTS TAKE PRECEDENCE OVER ALL REFERENCES ON FOUNDATION PLAN.
- FOOTINGS CONCRETE IS TO HAVE A MINIMUM OF 2500 P.S.I. COMPRESSIVE STRENGTH AT TWENTY-EIGHT DAYS. IF REQUIRED, FOOTING REINFORCING IS TO HAVE MINIMUM 4" CONCRETE COVER.
- FOOTING SIZES IS TO BE PER BASIC ENGINEERING PRACTICES. DEPTH NOT TO BE LESS THAN TWICE THE DISTANCE BEYOND WALL, AND WIDTH NOT LESS THAN EIGHT (8) INCHES UNDER THE WALL SUPPORTED.
- ALL CONCENTRATED LOAD POINTS SUCH AS BEAMS, COLUMNS AND GIRDER BEARING LOCATIONS TO HAVE SOLID MASONRY OR FILLED BLOCK CORES MINIMUM OF 4" IN HEIGHT OR BEARING PLATES TO SAFELY DISTRIBUTE LOAD ON WALL OR PIER.
- MASON IS RESPONSIBLE FOR THESE ITEMS:
  - ANCHOR BOLTS (MINIMUM 1/2" X 18")
  - LOCATION AND USE OF ALL EXPANSION AND CONTROL JOINTS PLUS COLLARS FOR PENETRATIONS THRU SLAB.
  - ALL TERMITES SHIELDS OR SOIL POISONING AS REQUIRED.
  - SUMP PUMP AND SUMP BASKET LOCATION AND INSTALLATION PER BUILDING DEPARTMENT.
  - DRAIN TILE AND LOCATION REQUIREMENTS PER CODES.
- ALL CONCRETE PADS TO HAVE (2) #4 REBARS EACH WAY AT BOTTOM.
- SLABS ON GRADE TO BE MINIMUM 3,000 P.S.I. 28-DAY COMPRESSIVE STRENGTH CONCRETE WITH 6X6-10X10 WELDED WIRE MESH TO BE USED IF REQUIRED.
- POURED CONCRETE FOUNDATION. MASON IS RESPONSIBLE FOR DESIGN AND ALL REINFORCING NEEDED TO MAINTAIN ALL CODE REQUIREMENTS AND SOIL LOAD BEARING CAPACITIES. FINAL HEIGHT AND THICKNESS OF WALL AND ALL REINFORCING PLUS CONCRETE COVER SET BY MASON PER LOCAL BUILDING CODE REQUIREMENTS.

### NOTE:

THIS GENERIC FOUNDATION PLAN IS DESIGNED FOR NON EXPANSIVE SOILS WITH A BEARING CAPACITY OF AT LEAST 2500 P.S.I. UNLIMITED-OPTIONS, INC IS NOT AN ENGINEER AND RECOMMENDS THAT A PROFESSIONAL ENGINEER BE CONSULTED FOR YOUR SPECIFIC LOT AS THE DESIGNER HAS NOT BEEN PROVIDED ANY INFORMATION BY THE CLIENT REGARDING THE BEARING CAPACITY OF THE SOILS FOR THIS LOT AND ASSUMES NO RESPONSIBILITY FOR THE STRUCTURAL PERFORMANCE OF THIS DESIGN.

### NOTE:

DOUBLE UP FLOOR JOISTS UNDER ALL WALLS RUNNING PARALLEL WITH THE FLOOR SYSTEM, TYP.

CRAWL SPACE (SOIL LOAD) VENTING CALCULATIONS - AS PER IRC R403	
CRAWL AREA:	2714
30 FT. OF VENTING AREA	186
ASBD 50 FT. OF REQUIRED VENTILATION	98
(ASSUMES VAPOR RETARDANT IS USED IN CRAWL SPACE)	2
30 FT. (10% OF NET FREE AREA) PER VENT FIELD VENTIFY	
% OF VENTS NEEDED	

"MINIMUM ONE VENT WITHIN 3FT OF EACH CORNER AND ONE VENT ON EACH SIDE OF STRUCTURE."

### CONCRETE NOTES:

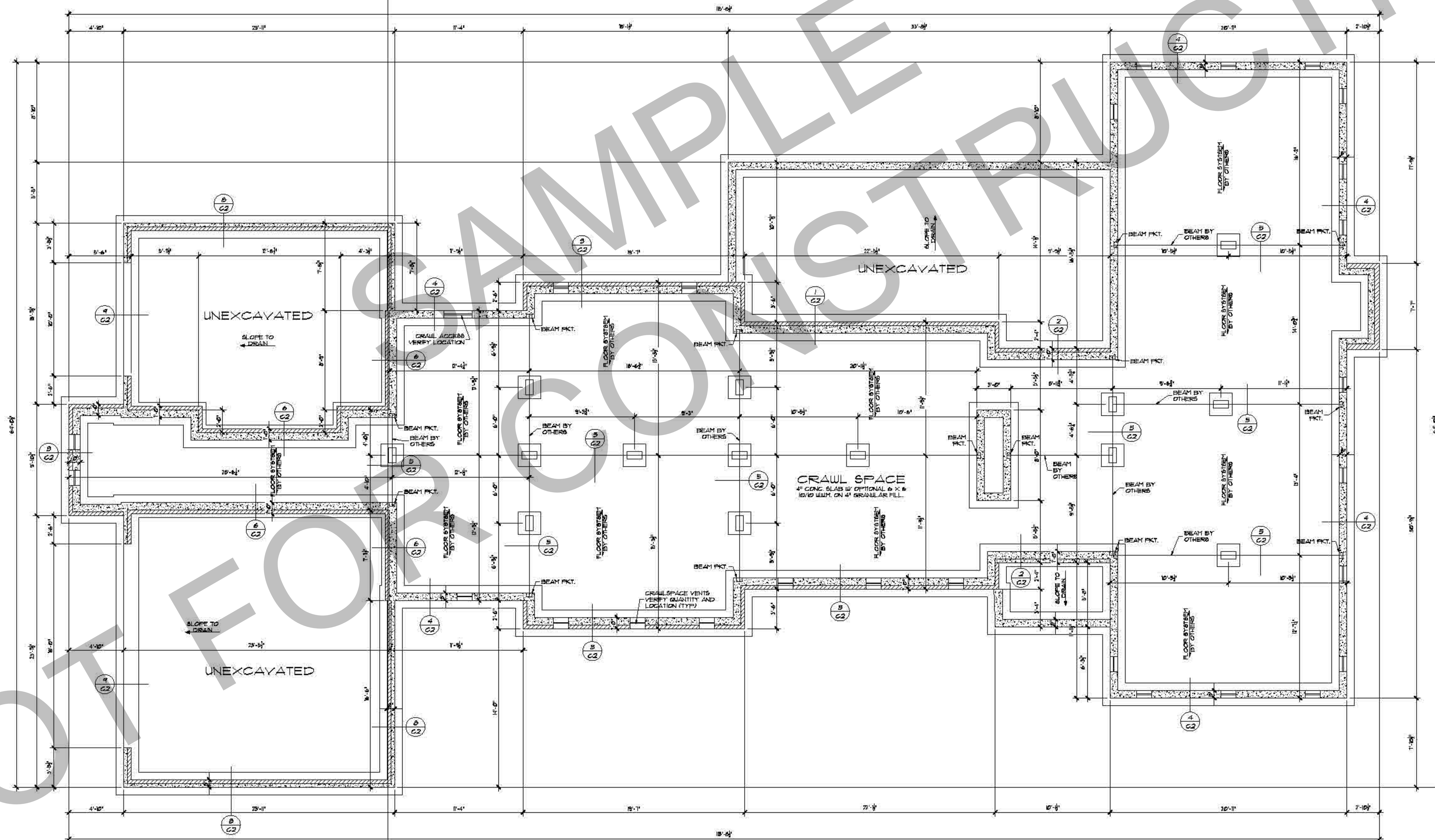
- REFER TO BUILDING PLANS FOR DOOR OPENINGS AND EXACT DIMENSIONS.
- USE CONCRETE BRICK SUPPORTS TO MAINTAIN REINFORCING CLEARANCES. DO NOT USE CHU OR FACE BRICK.
- FOUNDATION DESIGN BASED ON A-4 FILL DIRT COMPACTED TO 98% DENSITY (ASTM D-1557) FILL PLACED @ 6" MAX LIFTS.
- ALL CONCRETE SHALL DEVELOP 3,000 PSI COMPRESSIVE STRENGTH @ 28 DAYS. PLACE CONCRETE W/ MAXIMUM SLUMP OF 6". PROVIDE SLUMP TEST AND CYLINDERS AT BEGINNING AND MIDPOINT OF POUR.
- GRADE TO DEFORMED REINFORCING.
- ASTM-108 W/P REINFORCING.
- APPLY A LIQUID MEMBRANE CURING CHEMICAL TO ALL CONCRETE SURFACES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. USE GRADE PRODUCT OR EQUAL.
- CONTRACTOR SHALL COORDINATE ALL DOOR LOCATIONS AND CHIT NOTICES ACCORDINGLY.
- 2" CLEARANCE FOR REBAR, SIDES AND BOTTOM.
- MINIMUM SLAB THICKNESS SHALL BE 4" ON HOUSE AND ANY SIDEWALKS INCLUDING DRIVEWAY.
- FINISH GRADE TO SLOPE AWAY FROM THE HOUSE.
- REFER TO ELECTRICAL PLAN FOR N-SLAB WIRING AND OUTLET REQUIREMENTS.
- CONTRACTOR SHALL EXCAVATE ALL FOOTINGS TO SOLID, UNDISTURBED SOIL.
- SLABS AND FOOTINGS SHALL BE PLACED MONOLITHICALLY IN A CONTINUOUS POUR. CONSTRUCTION JOINTS FOR THE PURPOSE OF POUR INTERRUPTION SHALL NOT BE ALLOWED WITHOUT PRIOR APPROVAL BY THE OWNER.
- ALL DRIVEWAY POURS SHALL HAVE THE PROPER CONSTRUCTION AND CONTROL JOINTS AT A DISTANCE NO GREATER THAN 15' WITH A JOINT DOWN THE CENTER. RADIUS BEADS SHALL HAVE A CONTROL JOINT AT THE CENTER OF THEM.

### SITE PREPARATION NOTES:

- REMOVE TOP SOIL (6" TO 12") AND DELETERIOUS MATERIAL.
- PROOF ROLL SUBGRADE WITH A LOADED 18 YARD DUMP TRUCK. REMOVE ALL "PUMPING AREAS".

### FOUNDATION AND SITE WORK NOTES:

- CHECK ELECTRICAL PLAN FOR ANY CONDUIT OR FLOOR RECEPTABLES.
- TERMITE TREAT THE SOIL PRIOR TO POURING CONCRETE AND RETAIN CERTIFICATE FOR OWNER.
- GRADE LOT TO DRAIN AWAY FROM THE FOUNDATION A MINIMUM OF 6 INCHES IN THE FIRST 10 FEET.
- CARPORIT AND FRONT PORCH BEAMS ARE NOT SHOWN FOR CLARITY PURPOSES.
- CONTRACTOR SHALL EXCAVATE ALL FOOTINGS TO SOLID, COMPACTED, UNDISTURBED FILL MEETING 30% MODIFIED PROCTOR AS TESTED.
- ALL WELDED WIRE FABRIC SHALL BE 6X6 10X10 W/P.
- POLYETHYLENE VAPOR BARRIER SHALL BE 10 MIL THICKNESS.

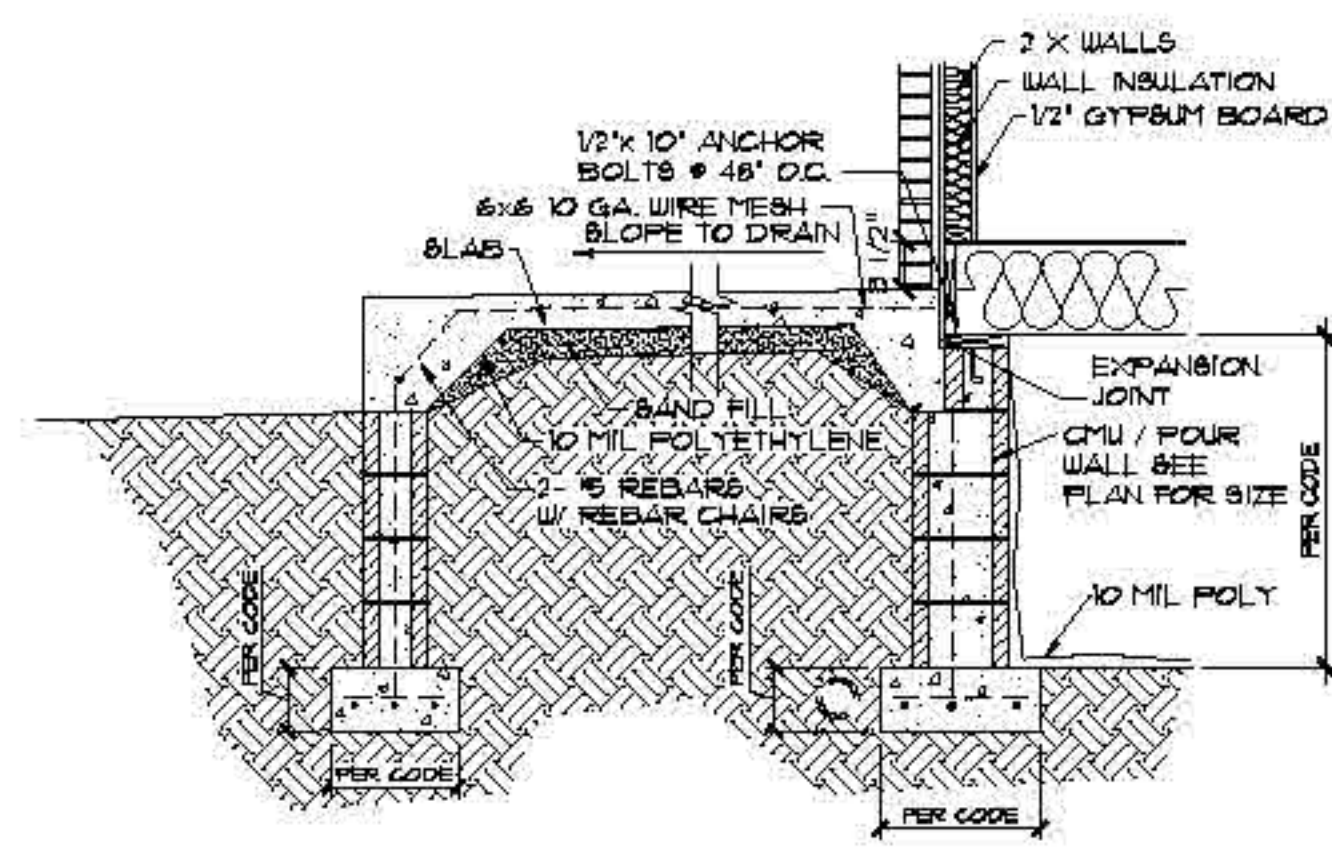


FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

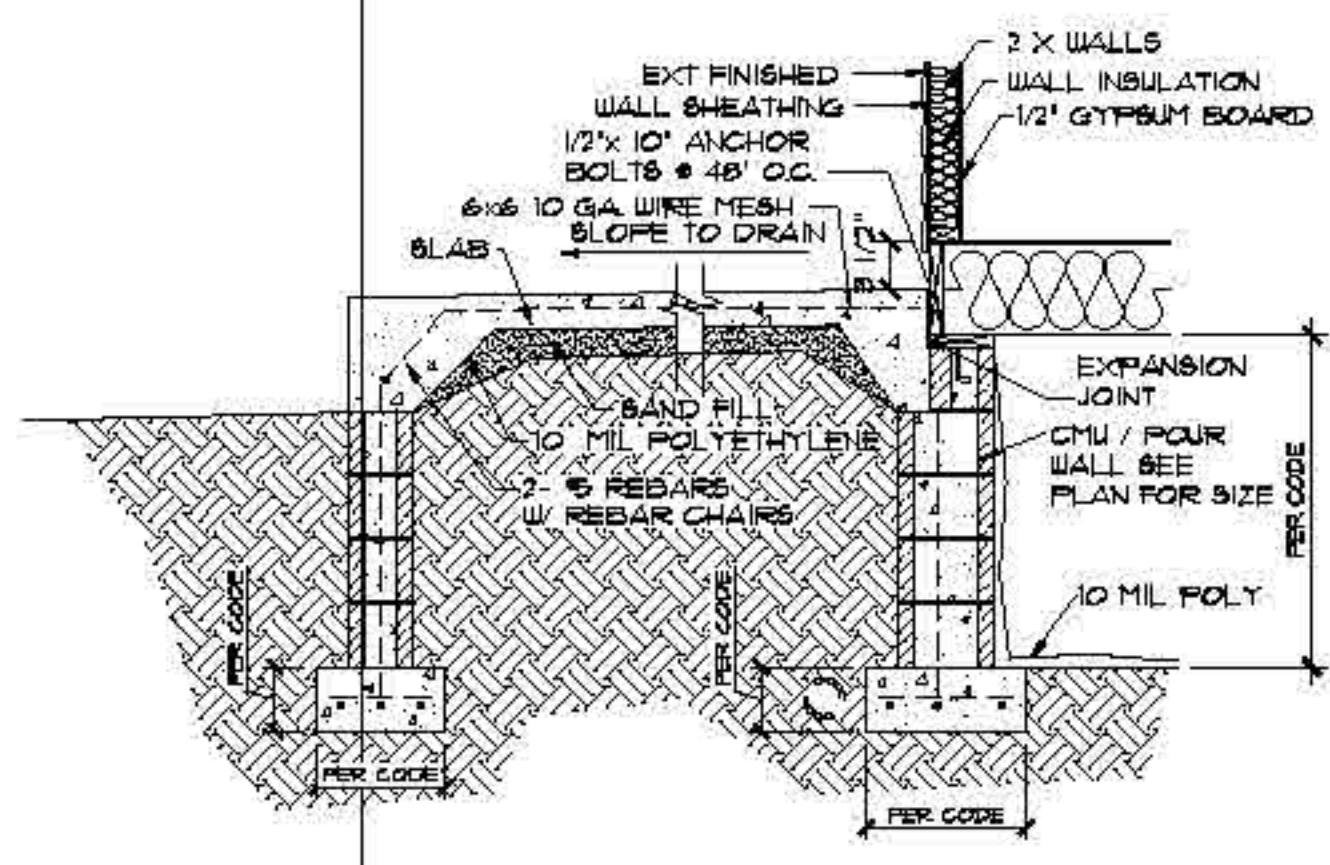
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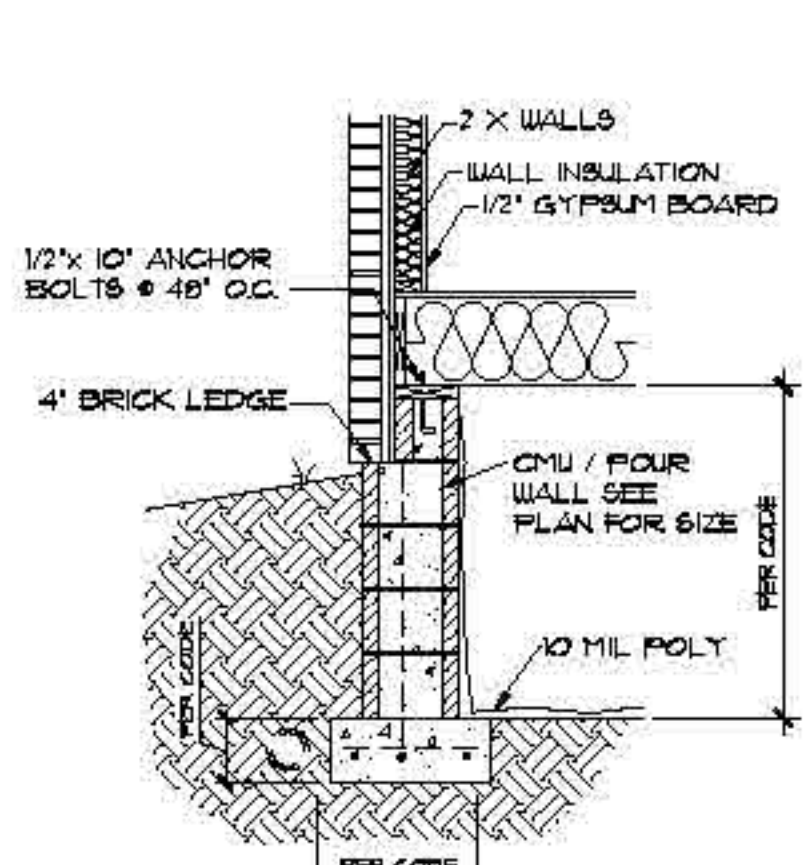
The design represented herein has been designed to comply with the 2009 International Residential Code (IRC) and all applicable local codes. UNLIMITED-OPTIONS, INC. is not responsible for any errors or omissions in this design. The design is provided as a guide only and does not constitute a contract. The contractor is responsible for obtaining all necessary permits and for ensuring that the construction complies with all applicable codes and regulations. UNLIMITED-OPTIONS, INC. is not responsible for any damage to property or injury to persons resulting from the use of this design.



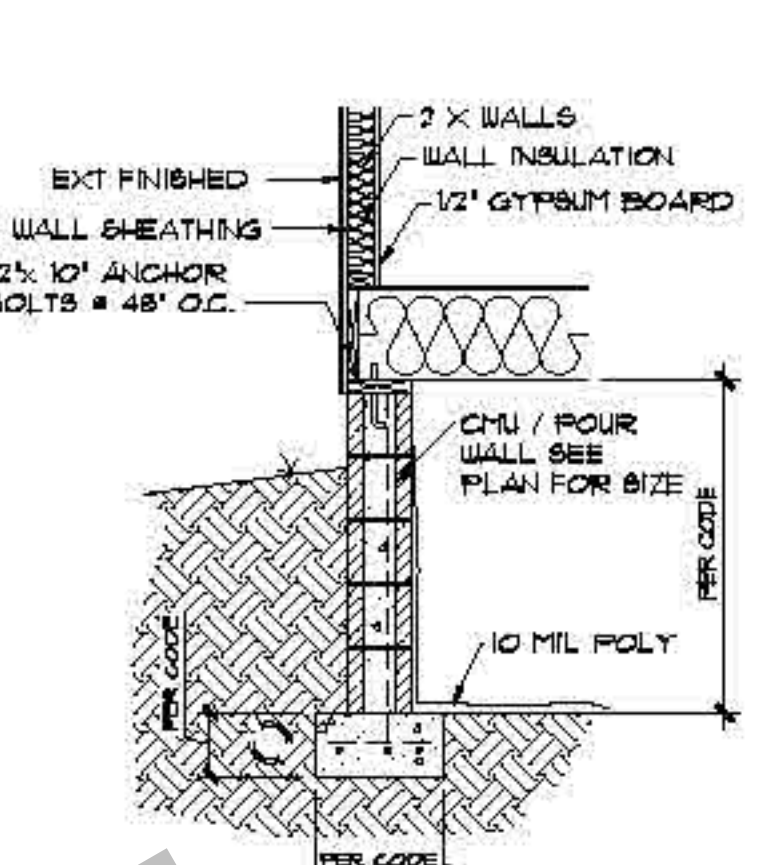
1 COVERED PORCH FOOTING  
 SCALE: 1/2" = 1"  
 BRICK EXT. WALL



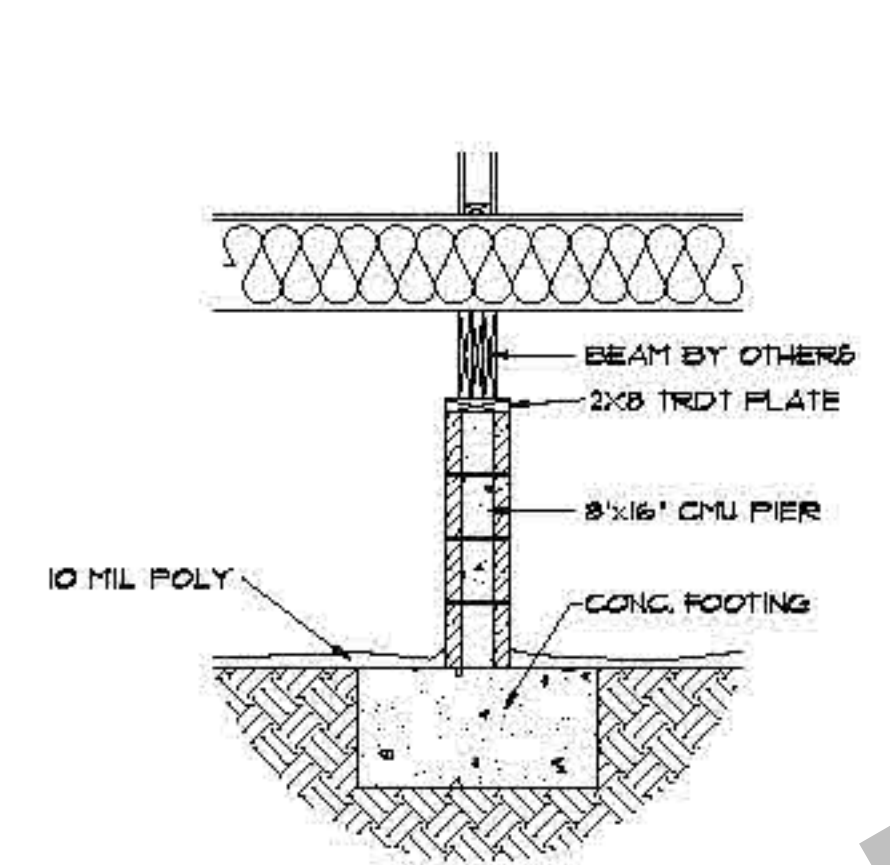
2 COVERED PORCH FOOTING  
 SCALE: 1/2" = 1"  
 SIDING EXT. WALL



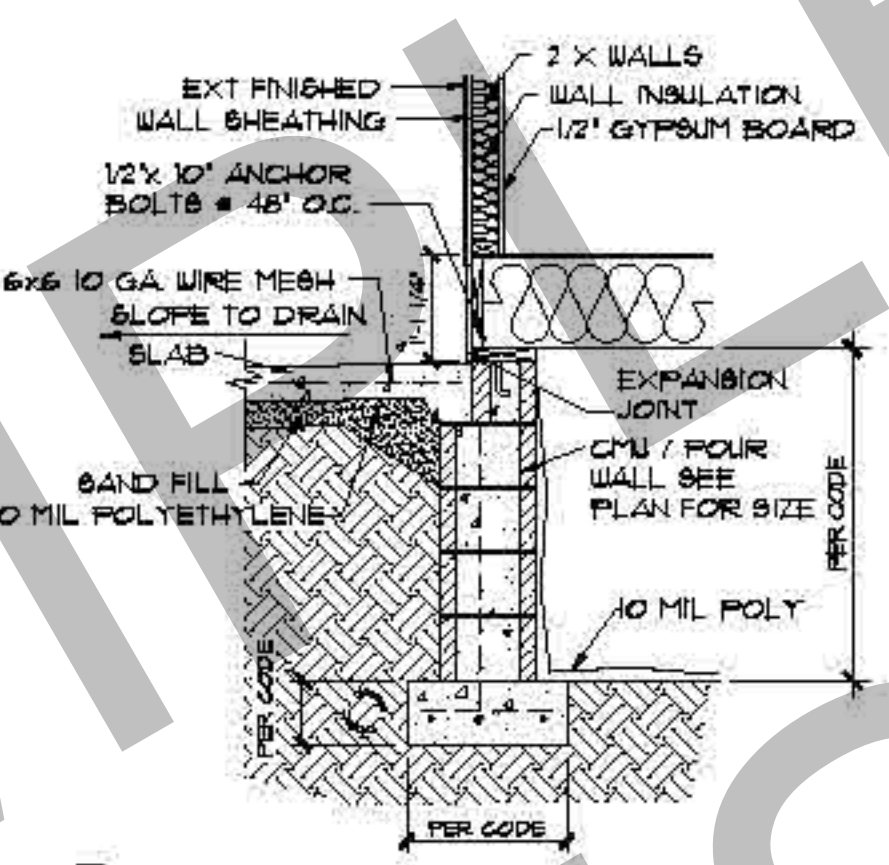
3 BRICK EXTERIOR  
 SCALE: 1/2" = 1"



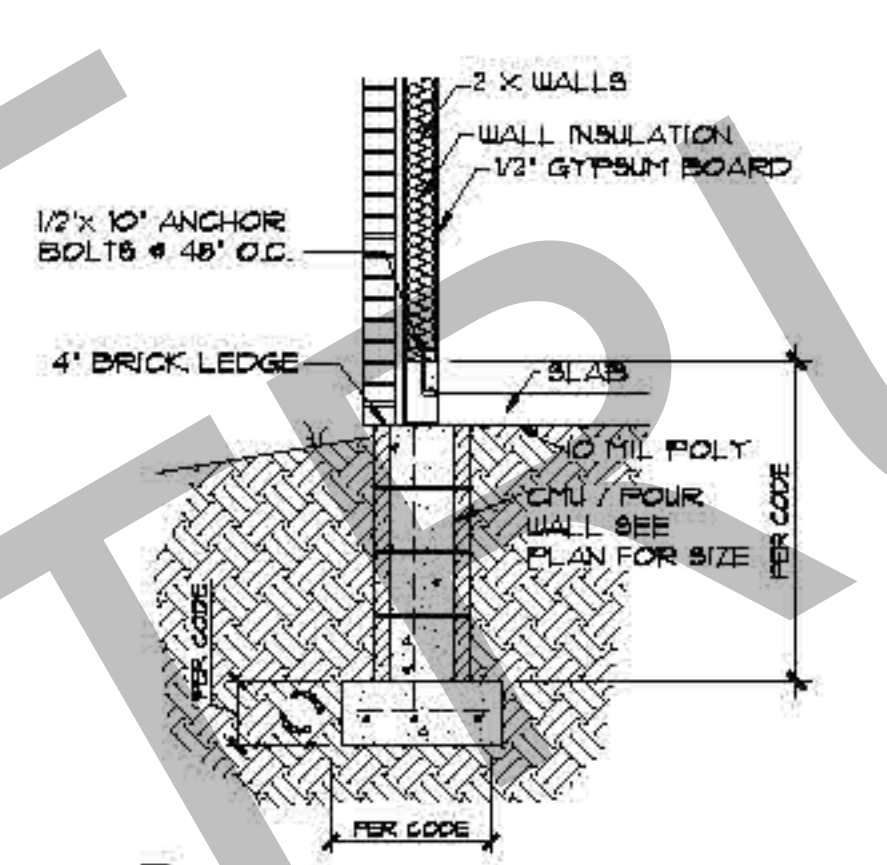
4 EXTERIOR  
 SCALE: 1/2" = 1"



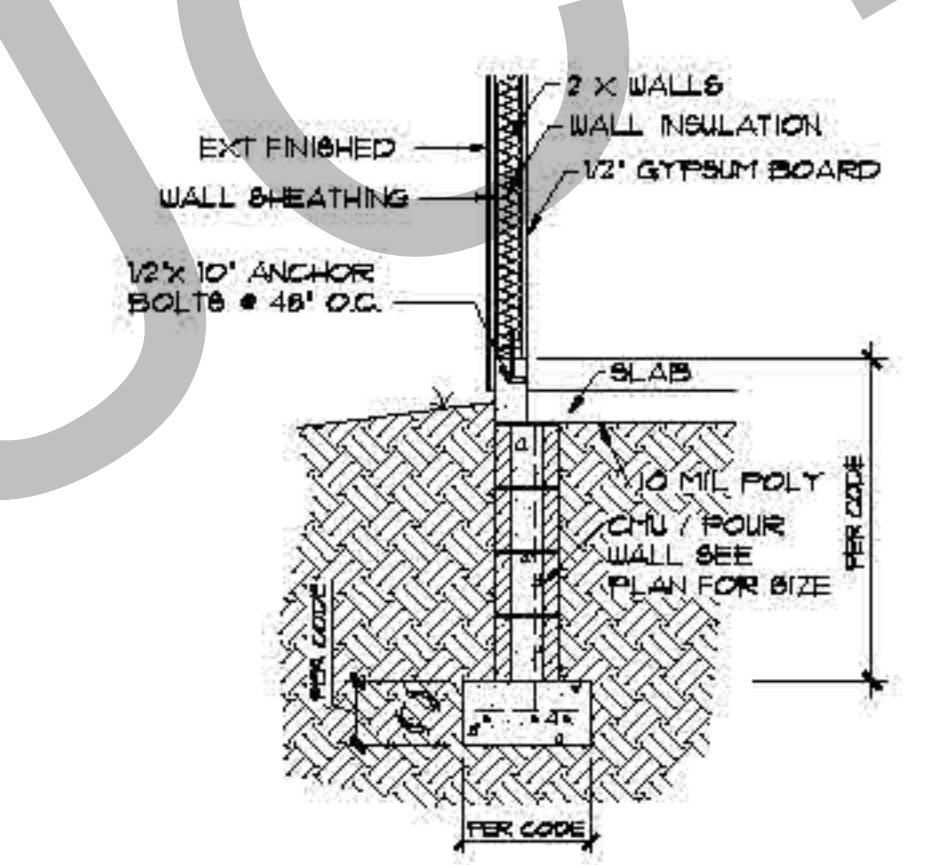
5 INTERIOR GRADE BEAM  
 SCALE: 1/2" = 1"



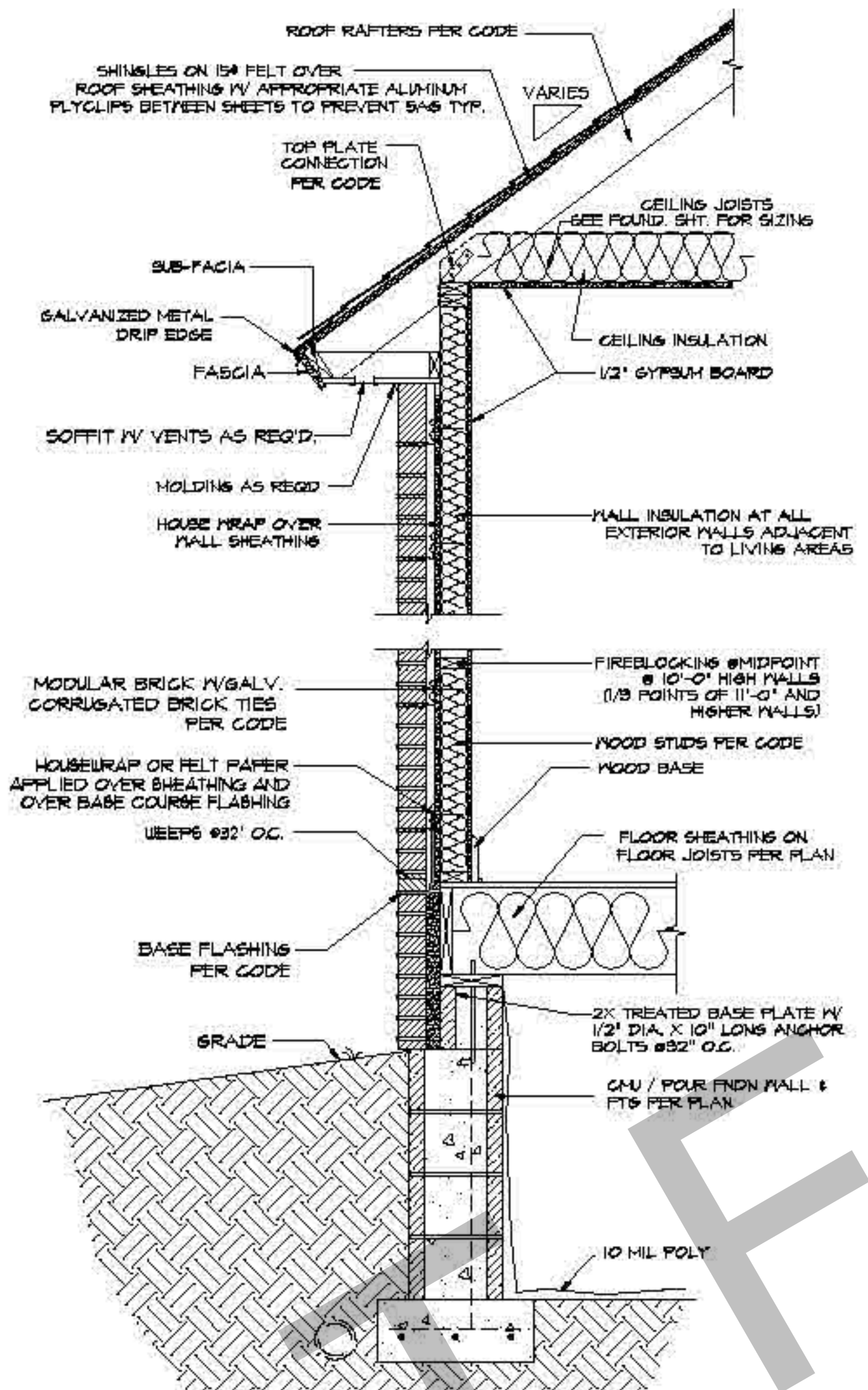
6 GARAGE / HOUSE WALL FOOTING  
 SCALE: 1/2" = 1"  
 SIDING EXT. WALL



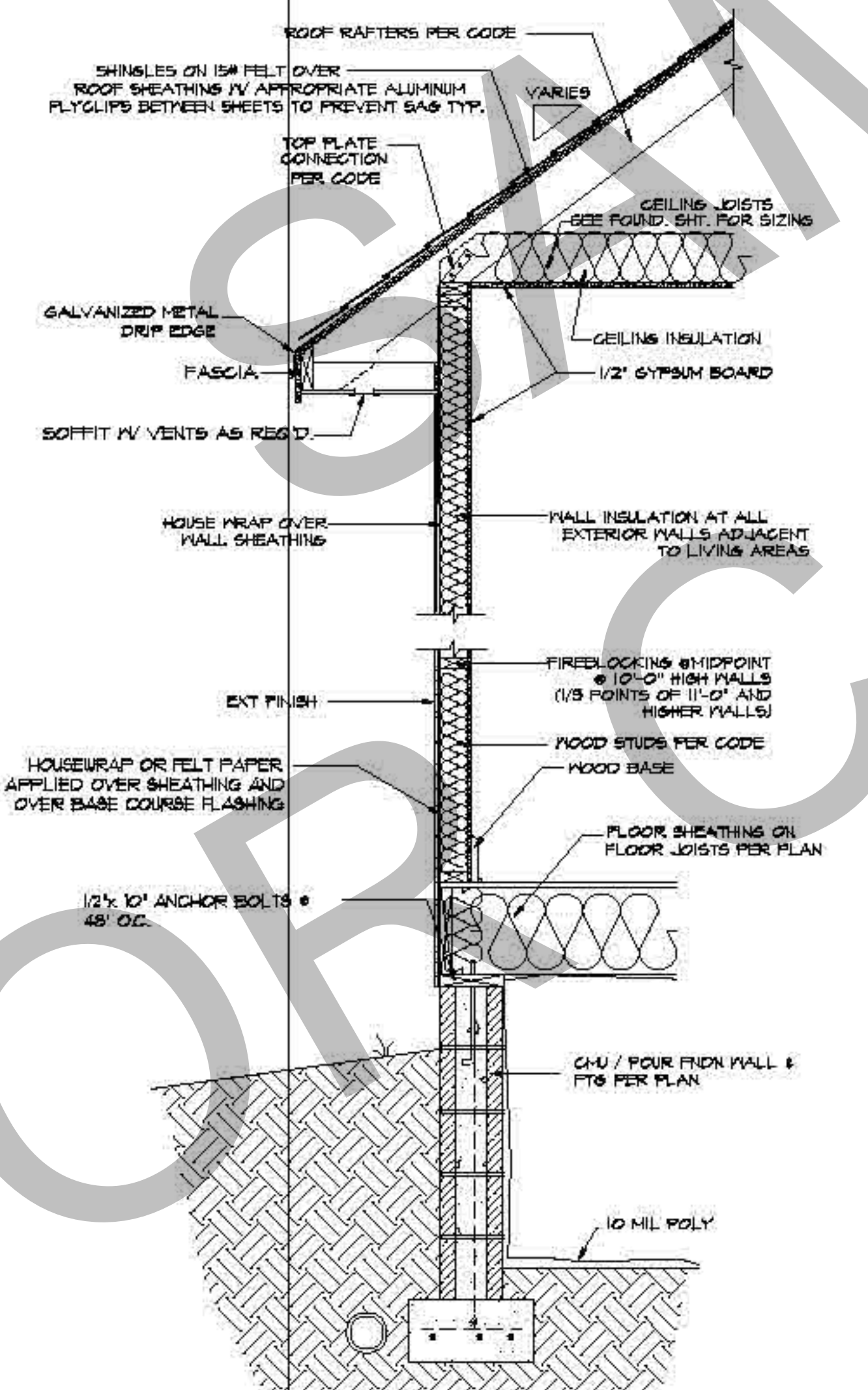
7 GARAGE BRICK EXTERIOR  
 SCALE: 1/2" = 1"



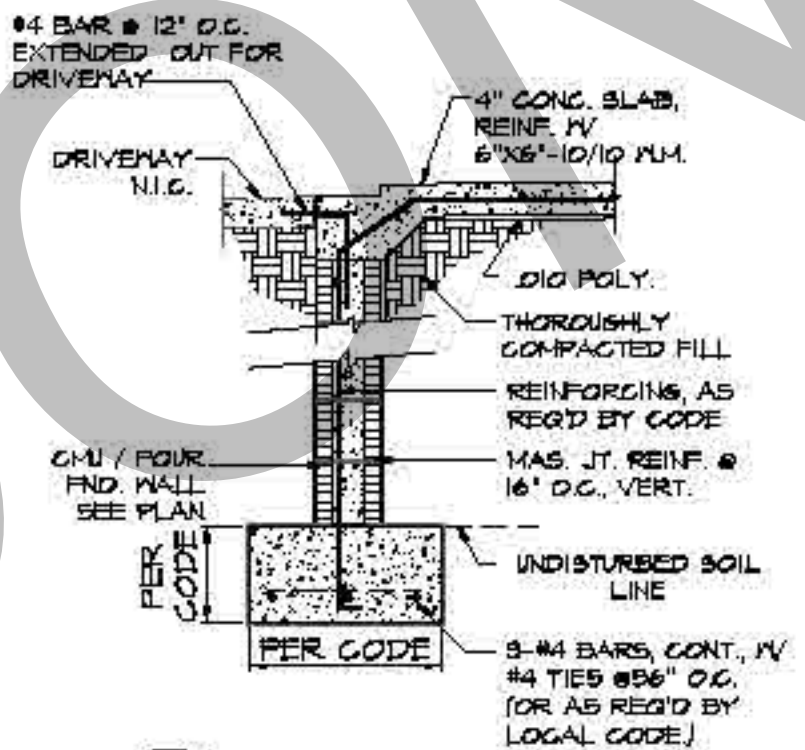
8 GARAGE EXTERIOR  
 SCALE: 1/2" = 1"  
 SIDING EXT. WALL



TYPICAL WALL  
 BRICK SECTION  
 SCALE: 3/4" = 1'-0"



TYPICAL WALL  
 SECTION  
 SCALE: 3/4" = 1'-0"



9 GARAGE DOOR OPENINGS  
 SCALE: 1/2" = 1"

**NOTE:**  
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RESIDENCE FOR:

The design represented herein has been designed to comply with the 2009 International Residential Code. The designer assumes no responsibility for the structural performance of the building. However, because of the impossibility of providing any information on the design and engineering of plans. It is the responsibility of the contractor to verify the design and engineering of the plans against the local building code requirements and other local building and weather conditions. The designer assumes no responsibility for any damage to the building or other property due to any use of the design or engineering of the plans. It is the responsibility of the contractor to verify the design and engineering of the plans against the local building code requirements and other local building and weather conditions. The designer assumes no responsibility for any damage to the building or other property due to any use of the design or engineering of the plans. It is the responsibility of the contractor to verify the design and engineering of the plans against the local building code requirements and other local building and weather conditions.

### FOUNDATION NOTES

- CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT FOUNDATION COMPLIES WITH ALL LOCAL BUILDING CODES PERTAINING TO REQUIRED SIZES, REINFORCING, FIRST DEPTH, FOOTING THICKNESS, FOUNDATION WALL WATERPROOFING AND REQUIRED VENTILATION MINIMUMS. LOCAL CODE REQUIREMENTS TAKE PRECEDENCE OVER ALL REFERENCES ON FOUNDATION PLAN.
- FOOTING CONCRETE IS TO HAVE A MINIMUM OF 2500 P.S.I. COMPRESSIVE STRENGTH AT TWENTY-EIGHT DAYS. IF REQUIRED, FOOTING REINFORCING IS TO HAVE MINIMUM 4" CONCRETE COVER.
- FOOTING SIZING IS TO BE PER BASIC ENGINEERING PRACTICES. DEPTH NOT TO BE LESS THAN TWICE THE DISTANCE BEYOND WALL, AND WIDTH NOT LESS THAN EIGHT (8) INCHES WIDER THAN THE WALL SUPPORTED.
- ALL CONCENTRATED LOAD POINTS SUCH AS BEAMS, COLUMNS AND GIRDER BEARING LOCATIONS TO HAVE SOLID MASONRY OR FILLED BLOCK CORES MINIMUM OF 4" IN HEIGHT OR BEARING PLATES TO SAFELY DISTRIBUTE LOAD ON WALL OR PIER.
- MASON IS RESPONSIBLE FOR THESE ITEMS:
  - ANCHOR BOLTS (MINIMUM 1/2" X 15")
  - LOCATION AND USE OF ALL EXPANSION AND CONTROL JOINTS PLUS COLLARS FOR PENETRATIONS THRU SLAB
  - ALL TERMITE SHIELDS OR SOIL POISONING AS REQUIRED.
  - SUMP PUMP AND SUMP BASKET (LOCATION AND INSTALLATION PER BUILDING DEPARTMENT)
  - DRAIN TILE AND LOCATION REQUIREMENTS PER CODES.
- ALL CONCRETE PADS TO HAVE (2) #4 REBARS EACH MAY AT BOTTOM.
- SLABS ON GRADE TO BE MINIMUM 3000 P.S.I. 28-DAY COMPRESSIVE STRENGTH CONCRETE WITH 6X6-10X10 WELDED WIRE MESH TO BE USED IF REQUIRED.
- POURED CONCRETE FOUNDATION: MASON IS RESPONSIBLE FOR DESIGN AND ALL REINFORCING NEEDED TO MAINTAIN ALL CODE REQUIREMENTS AND SOIL LOAD BEARING CAPACITIES. FINAL HEIGHT AND THICKNESS OF WALL AND ALL REINFORCING PLUS CONCRETE COVER SET BY MASON PER LOCAL BUILDING CODE REQUIREMENTS.

### CONCRETE NOTES:

- REFER TO BUILDING PLANS FOR DOOR OPENINGS AND EXACT DIMENSIONS.
- USE CONCRETE BRICK SUPPORTS TO MAINTAIN REINFORCING CLEARANCES. DO NOT USE CMU OR FACE BRICK.
- FOUNDATION DESIGN BASED ON A-4 FILL DIRT COMPACTED TO 95% DENSITY (ASTM D-1585), FILL PLACED @ 8" MAX. LIFTS.
- ALL CONCRETE SHALL DEVELOP 3000 PSI COMPRESSIVE STRENGTH @ 28 DAYS. PLACE CONCRETE W/ MAXIMUM SLUMP OF 6". PROVIDE SLUMP TEST AND CYLINDERS AT BEGINNING AND MIDDLE OF POUR.
- GRADE 40 DEFORMED REINFORCING.
- ASTM-108 MWF REINFORCING.
- APPLY A LIQUID MEMBRANE CURING CHEMICAL TO ALL CONCRETE SURFACES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. USE GRADE PRODUCT OR EQUAL.
- CONTRACTOR SHALL COORDINATE ALL DOOR LOCATIONS AND OMIT NOTCHES ACCORDINGLY.
- 2" CLEARANCE FOR REBAR, SIDES AND BOTTOM.
- MINIMUM SLAB THICKNESS SHALL BE 4" ON HOUSE AND ANY SIDEWALKS INCLUDING DRIVEWAY.
- FINISH GRADE TO SLOPE AWAY FROM THE HOUSE.
- REFER TO ELECTRICAL PLAN FOR IN-SLAB WIRING AND OUTLET REQUIREMENTS.
- CONTRACTOR SHALL EXCAVATE ALL FOOTINGS TO SOLID UNDISTURBED SOIL.
- SLABS AND FOOTINGS SHALL BE PLACED MONOLITHICALLY IN A CONTINUOUS POUR. CONSTRUCTION JOINTS FOR THE PURPOSE OF POUR INTERRUPTION SHALL NOT BE ALLOWED WITHOUT PRIOR APPROVAL BY THE OWNER.
- ALL DRIVEWAY POURS SHALL HAVE THE PROPER CONSTRUCTION AND CONTROL JOINTS AT A DISTANCE NO GREATER THAN 15' WITH A JOINT DOWN THE CENTER. RADIUS BENDS SHALL HAVE A CONTROL JOINT AT THE CENTER OF THEM.

### SITE PREPARATION NOTES:

- REMOVE TOP SOIL (6" TO 12") AND DELETERIOUS MATERIAL.
- PROOF ROLL SUBBASE WITH A LOADED 16 YARD DUMP TRUCK. REMOVE ALL PUMPING AREAS.

### FOUNDATION AND SITE WORK NOTES:

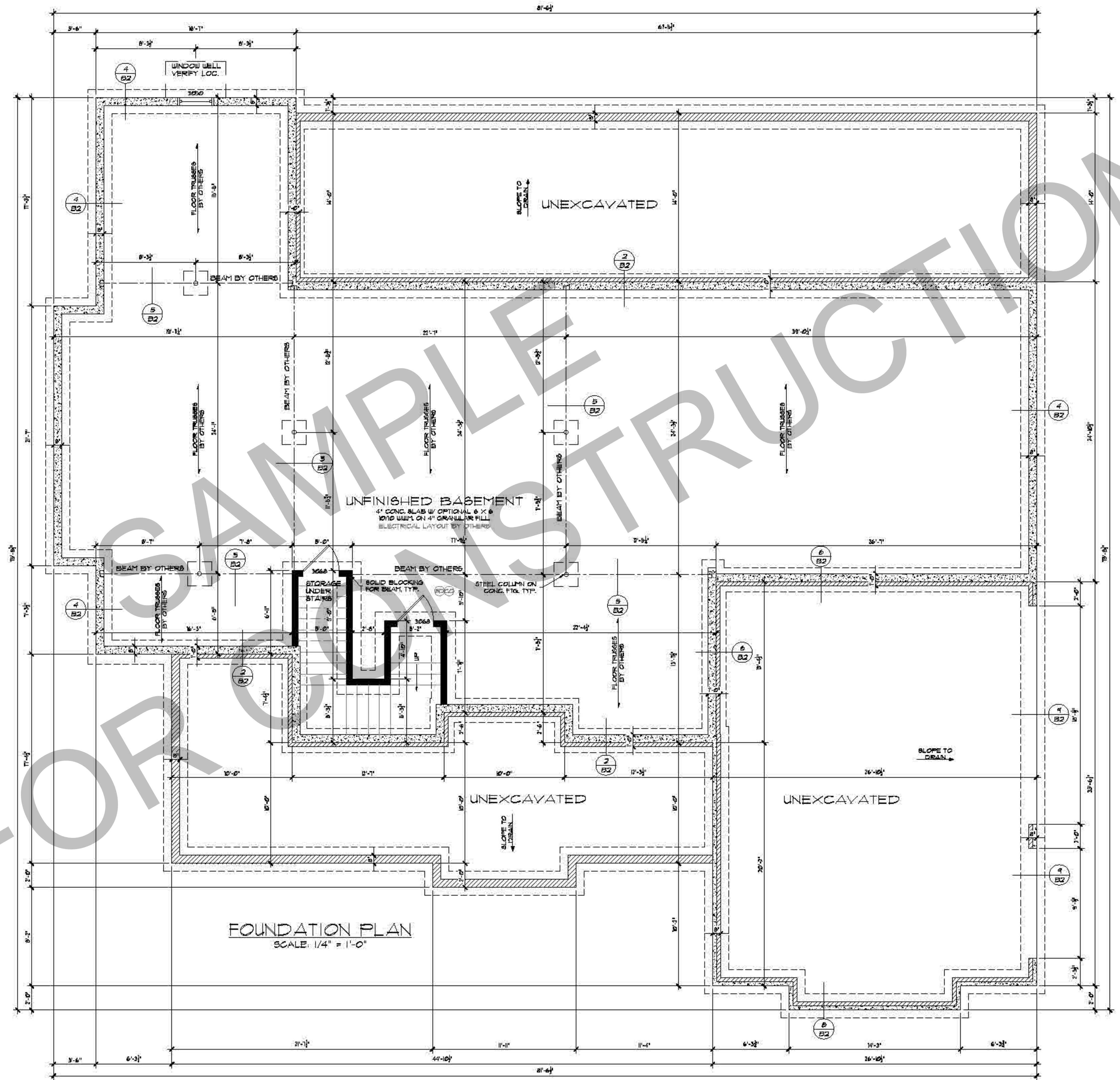
- CHECK ELECTRICAL PLAN FOR ANY CONDUIT OR FLOOR RECEPTACLES.
- TERMITE TREAT THE SOIL PRIOR TO POURING CONCRETE AND RETAIN CERTIFICATE FOR OWNER.
- GRADE LOT TO DRAIN AWAY FROM THE FOUNDATION A MINIMUM OF 6 INCHES IN THE FIRST 10 FEET.
- CARPORIT AND FRONT PORCH BEAMS ARE NOT SHOWN FOR CLARITY PURPOSES.
- CONTRACTOR SHALL EXCAVATE ALL FOOTINGS TO SOLID, COMPACTED, UNDISTURBED FILL MEETING 80% MODIFIED PROCTOR AS TESTED.
- ALL WELDED WIRE FABRIC SHALL BE 6X6 10/10 W/F.
- POLYETHYLENE VAPOR BARRIER SHALL BE 10 MIL THICKNESS.

#### NOTE:

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#### NOTE:

DOUBLE UP FLOOR JOISTS UNDER ALL WALLS RUNNING PARALLEL WITH THE FLOOR SYSTEM, TYP.



FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

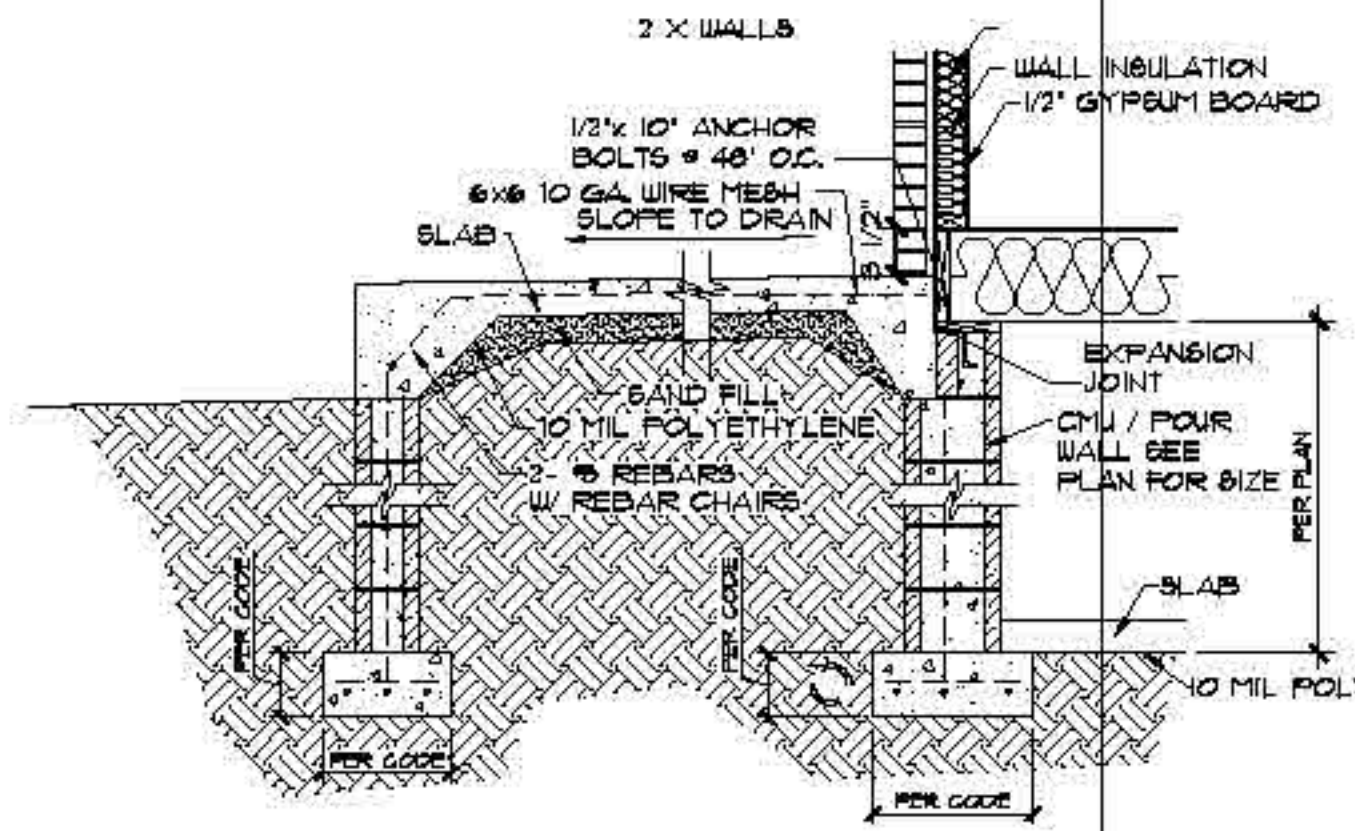


PROFESSIONAL MEMBER  
A  
B  
D

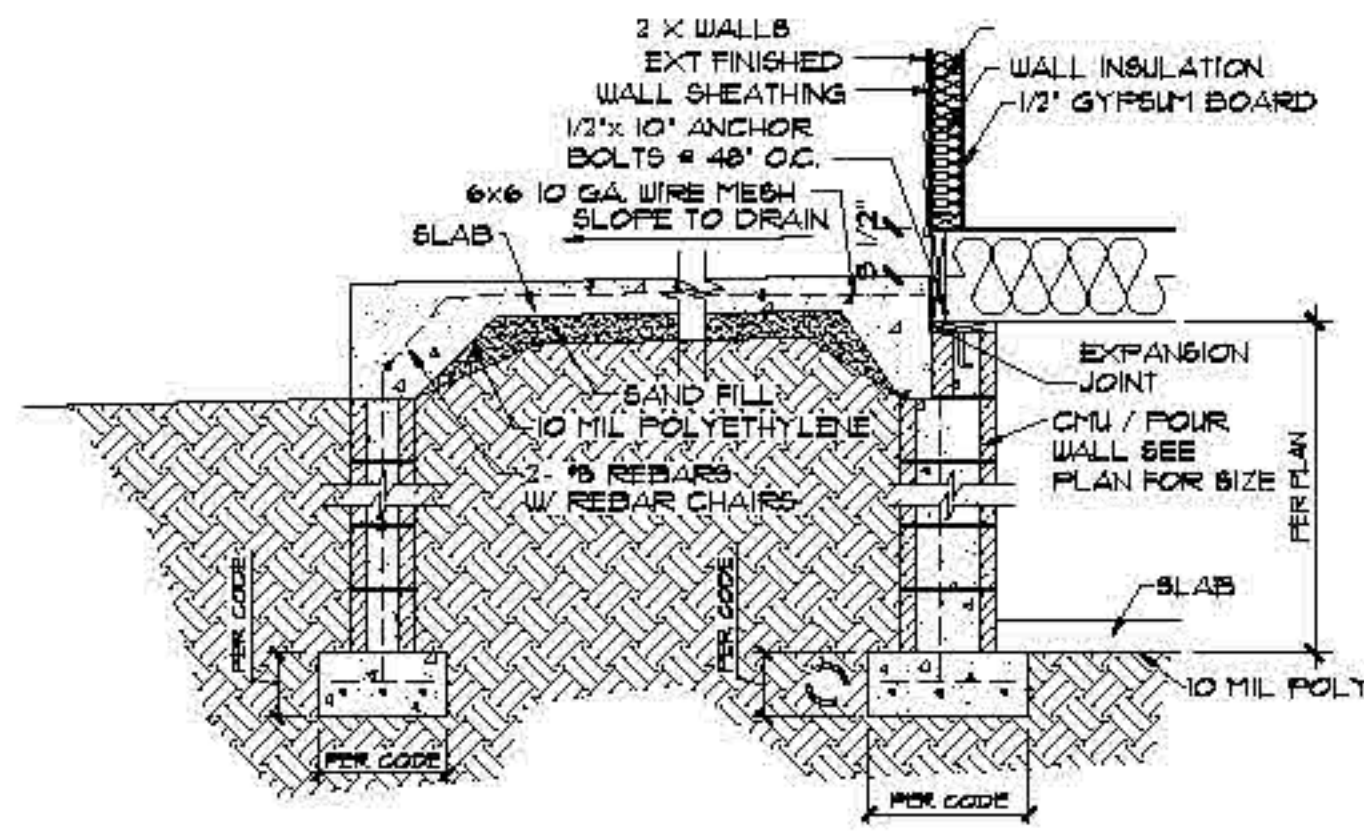
RESIDENCE FOR:  
[Redacted Name]

UNLIMITED OPTIONS, INC. IS NOT AN ENGINEER AND RECOMMENDS THAT A PROFESSIONAL ENGINEER BE CONSULTED FOR YOUR SPECIFIC LOT AS THE DESIGNER HAS NOT BEEN PROVIDED ANY INFORMATION BY THE CLIENT REGARDING THE BEARING CAPACITY OF THE SOILS FOR THIS LOT AND ASSUMES NO RESPONSIBILITY FOR THE STRUCTURAL PERFORMANCE OF THIS DESIGN.

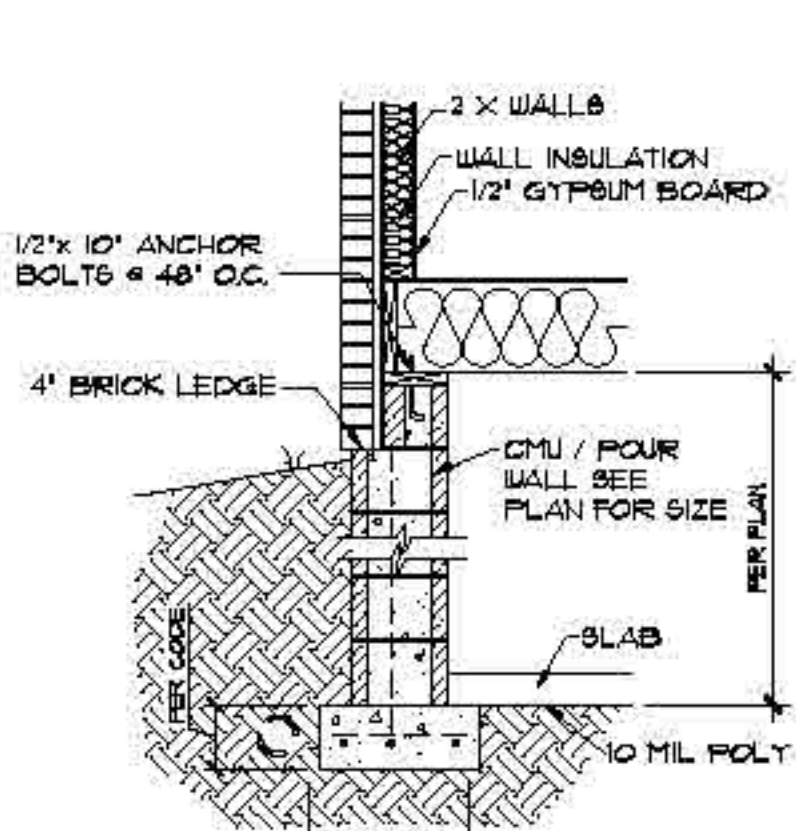




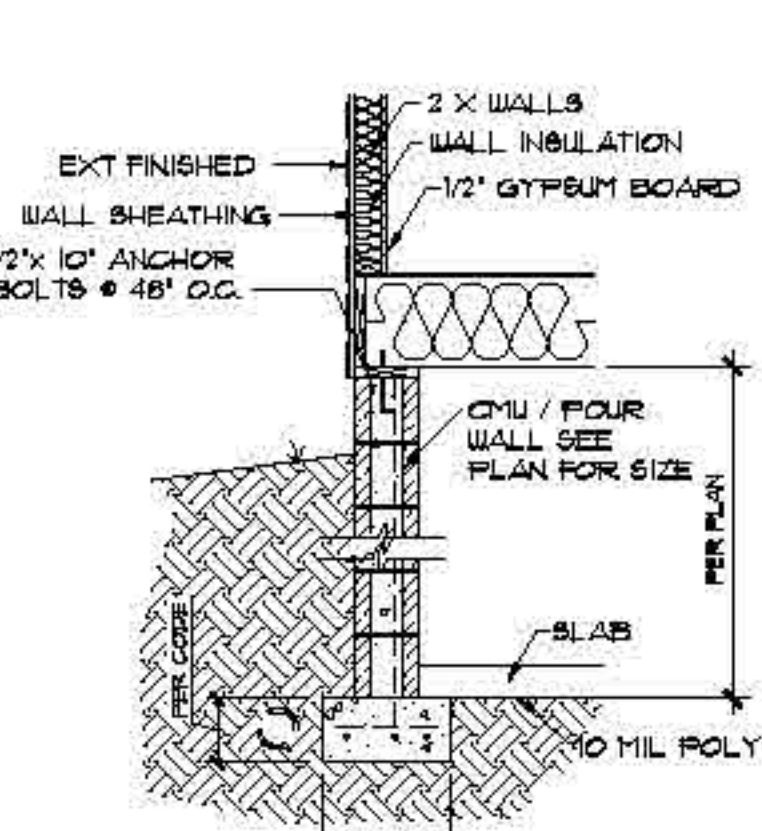
1 COVERED PORCH FOOTING  
SCALE: 1/2" = 1'  
BRICK EXT. WALL



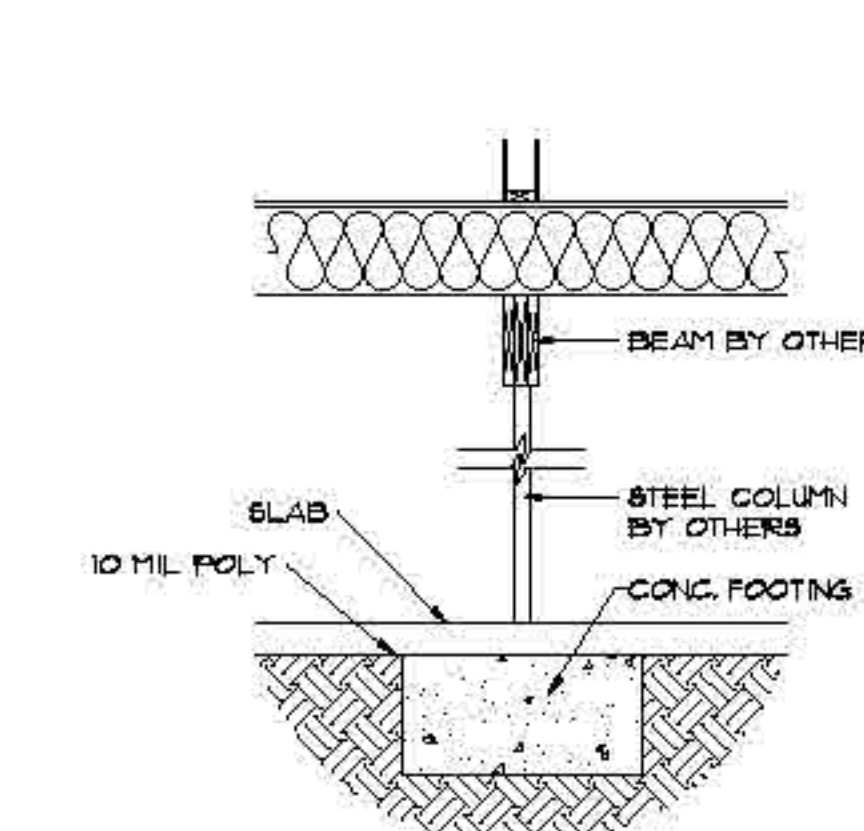
2 COVERED PORCH FOOTING  
SCALE: 1/2" = 1'  
SIDING EXT. WALL



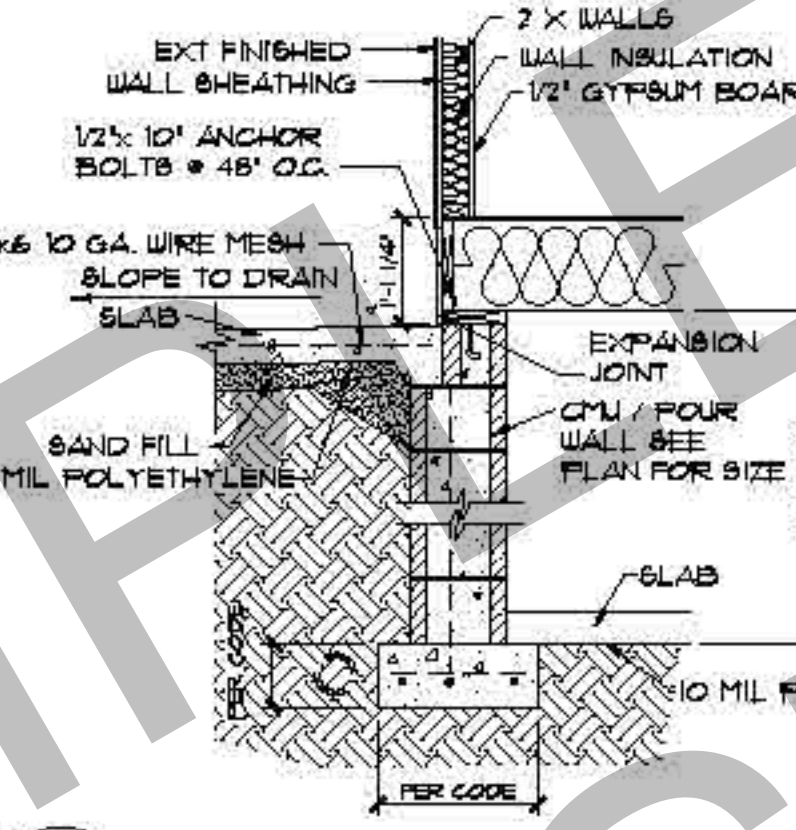
3 BRICK EXTERIOR  
SCALE: 1/2" = 1'



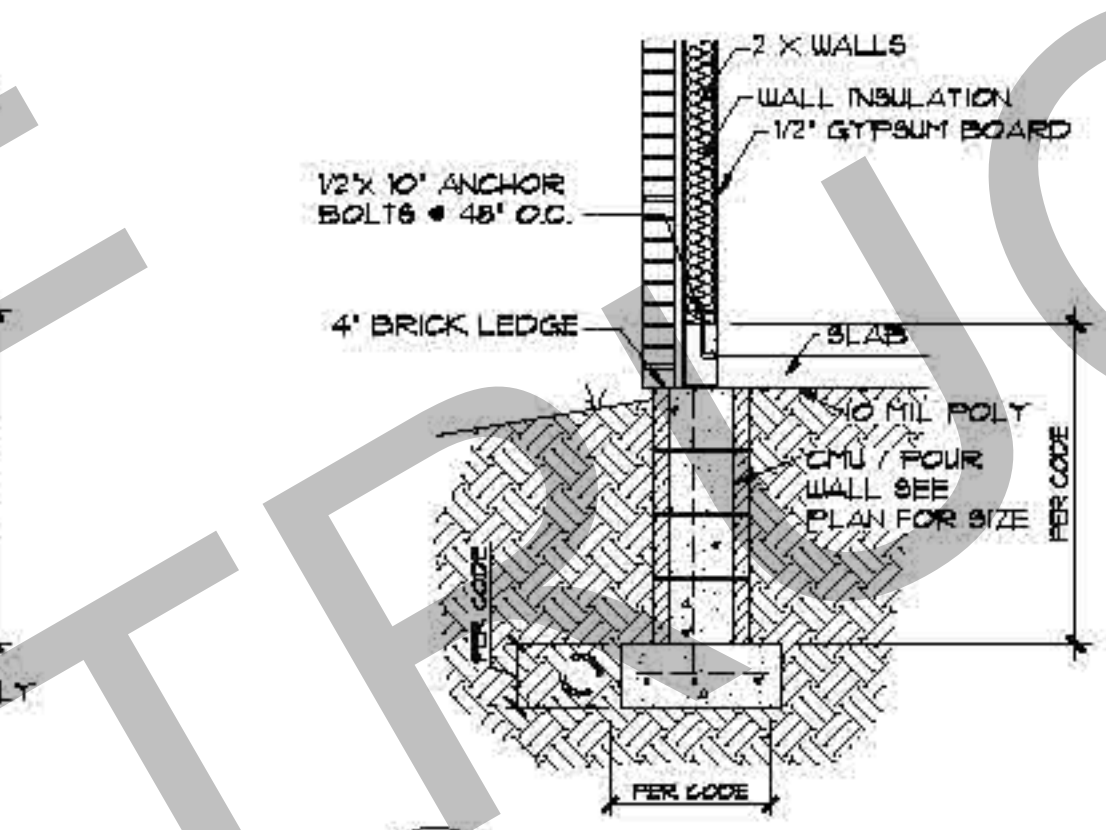
4 EXTERIOR  
SCALE: 1/2" = 1'



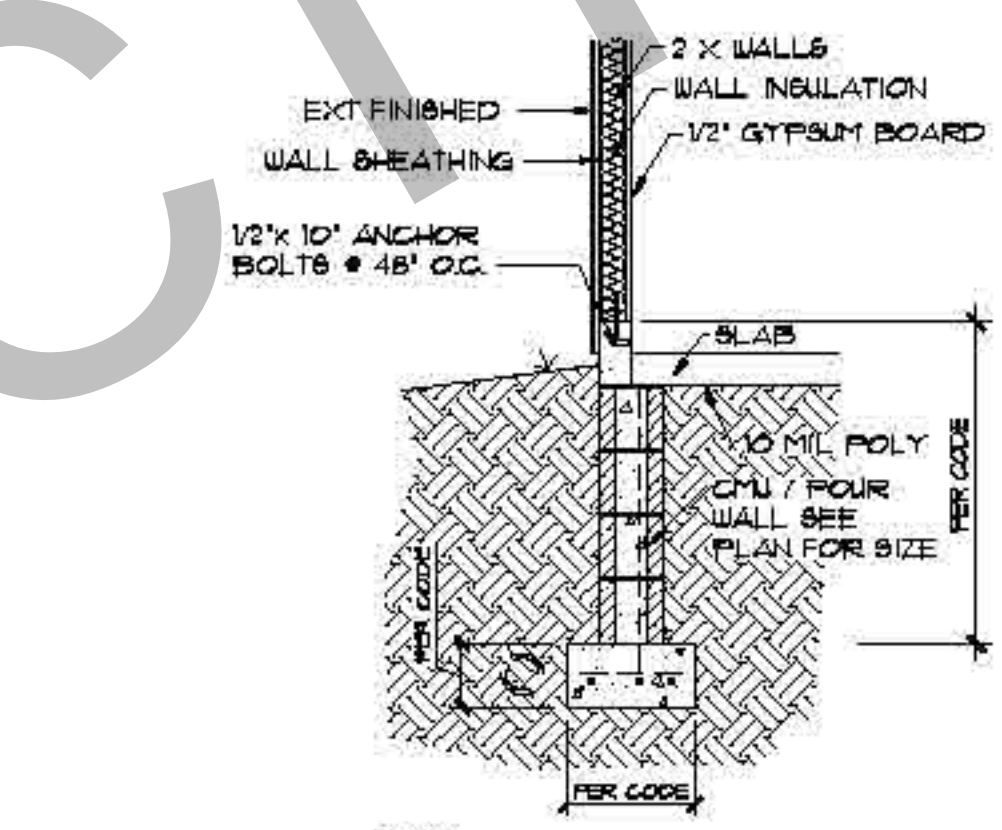
5 INTERIOR GRADE BEAM  
SCALE: 1/2" = 1'



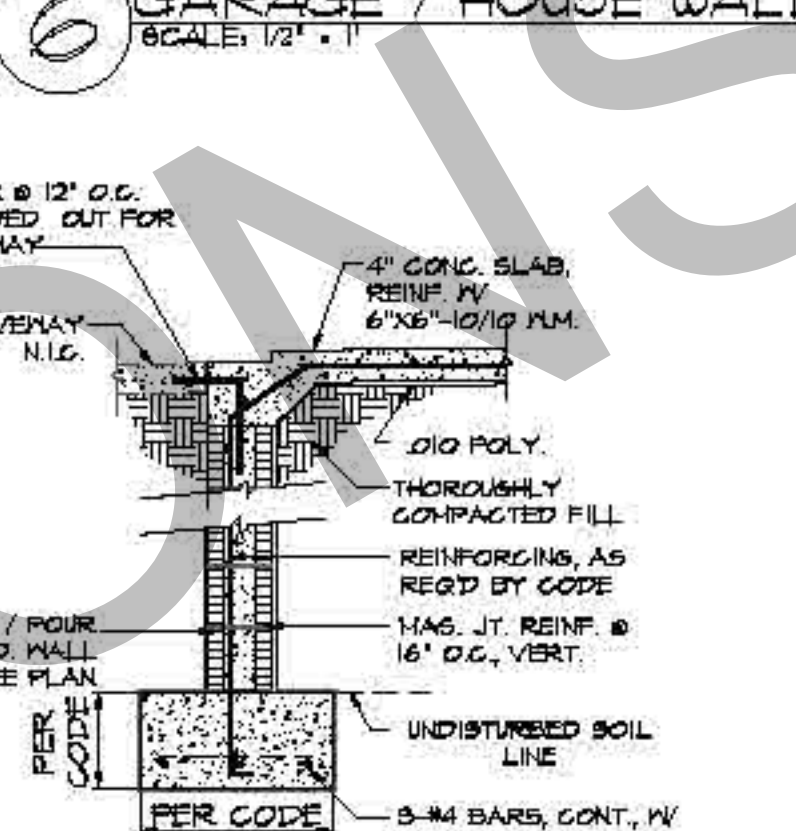
6 GARAGE / HOUSE WALL FOOTING  
SCALE: 1/2" = 1'  
SIDING EXT. WALL



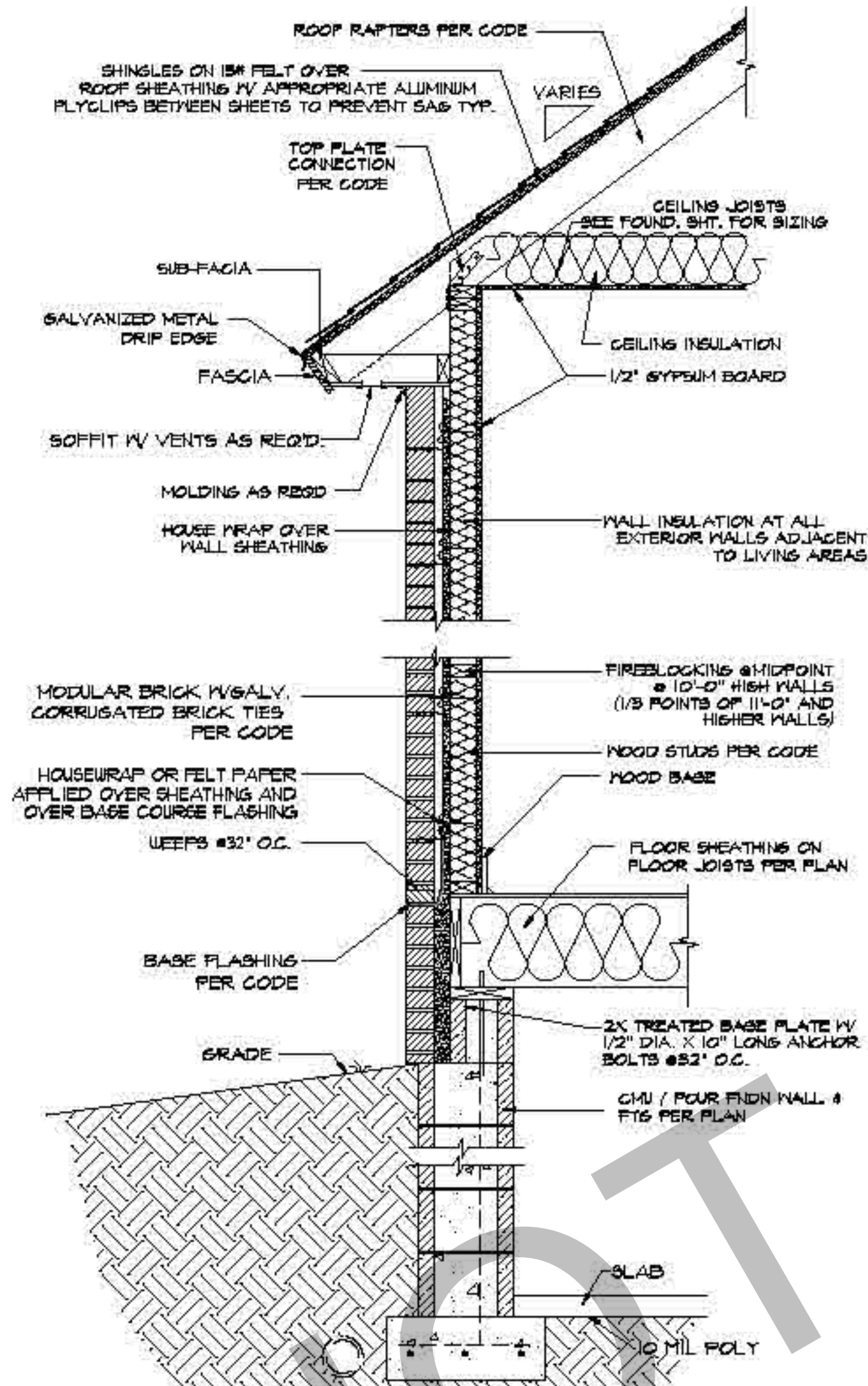
7 GARAGE BRICK EXTERIOR  
SCALE: 1/2" = 1'



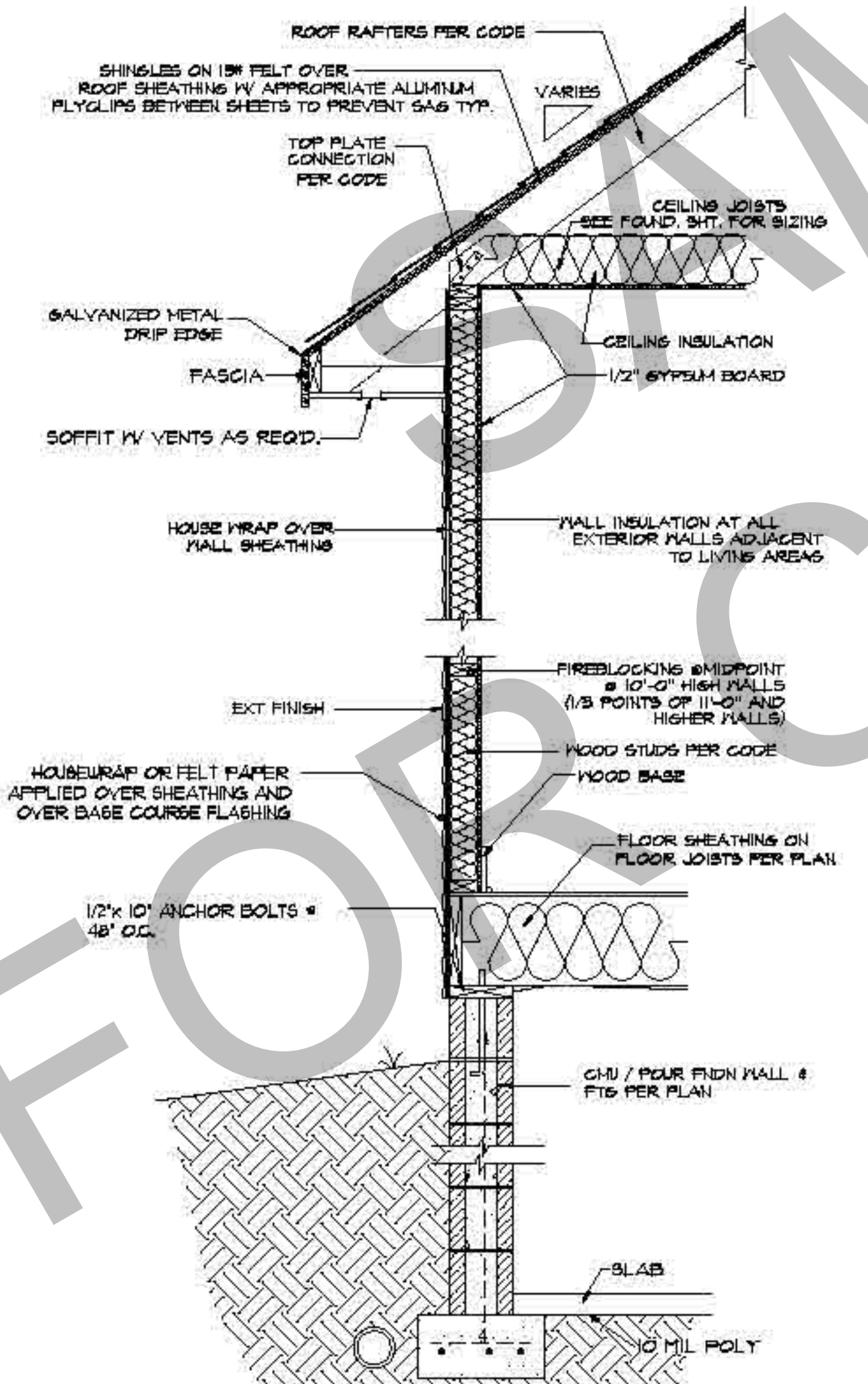
8 GARAGE EXTERIOR  
SCALE: 1/2" = 1'  
SIDING EXT. WALL



9 GARAGE DOOR OPENINGS  
SCALE: 1/2" = 1'

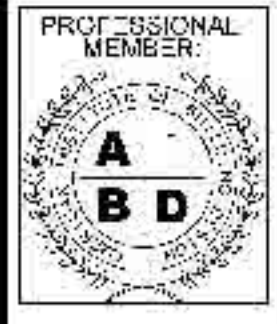


TYPICAL WALL  
BRICK SECTION  
SCALE: 3/4" = 1'-0"



TYPICAL WALL  
SECTION  
SCALE: 3/4" = 1'-0"

**NOTE:**  
THIS GENERIC FOUNDATION PLAN IS DESIGNED FOR NON EXPANSIVE SOILS WITH A BEARING CAPACITY OF AT LEAST 2500 PSF. UNLIMITED-OPTIONS, INC IS NOT AN ENGINEER AND RECOMMENDS THAT A PROFESSIONAL ENGINEER BE CONSULTED FOR YOUR SPECIFIC LOT AS THE DESIGNER HAS NOT BEEN PROVIDED ANY INFORMATION BY THE CLIENT REGARDING THE BEARING CAPACITY OF THE SOILS FOR THIS LOT AND ASSUMES NO RESPONSIBILITY FOR THE STRUCTURAL PERFORMANCE OF THIS DESIGN.



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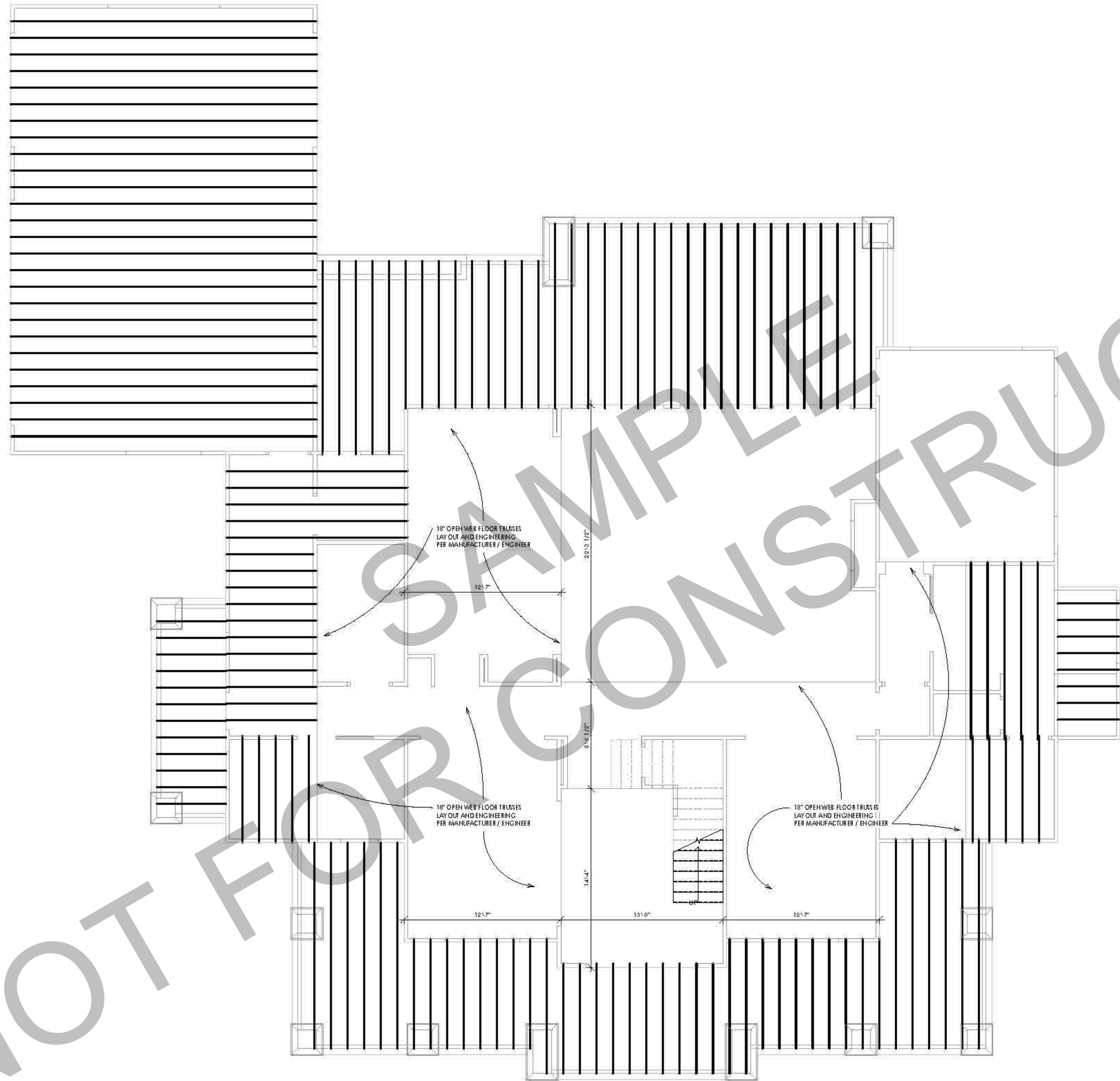
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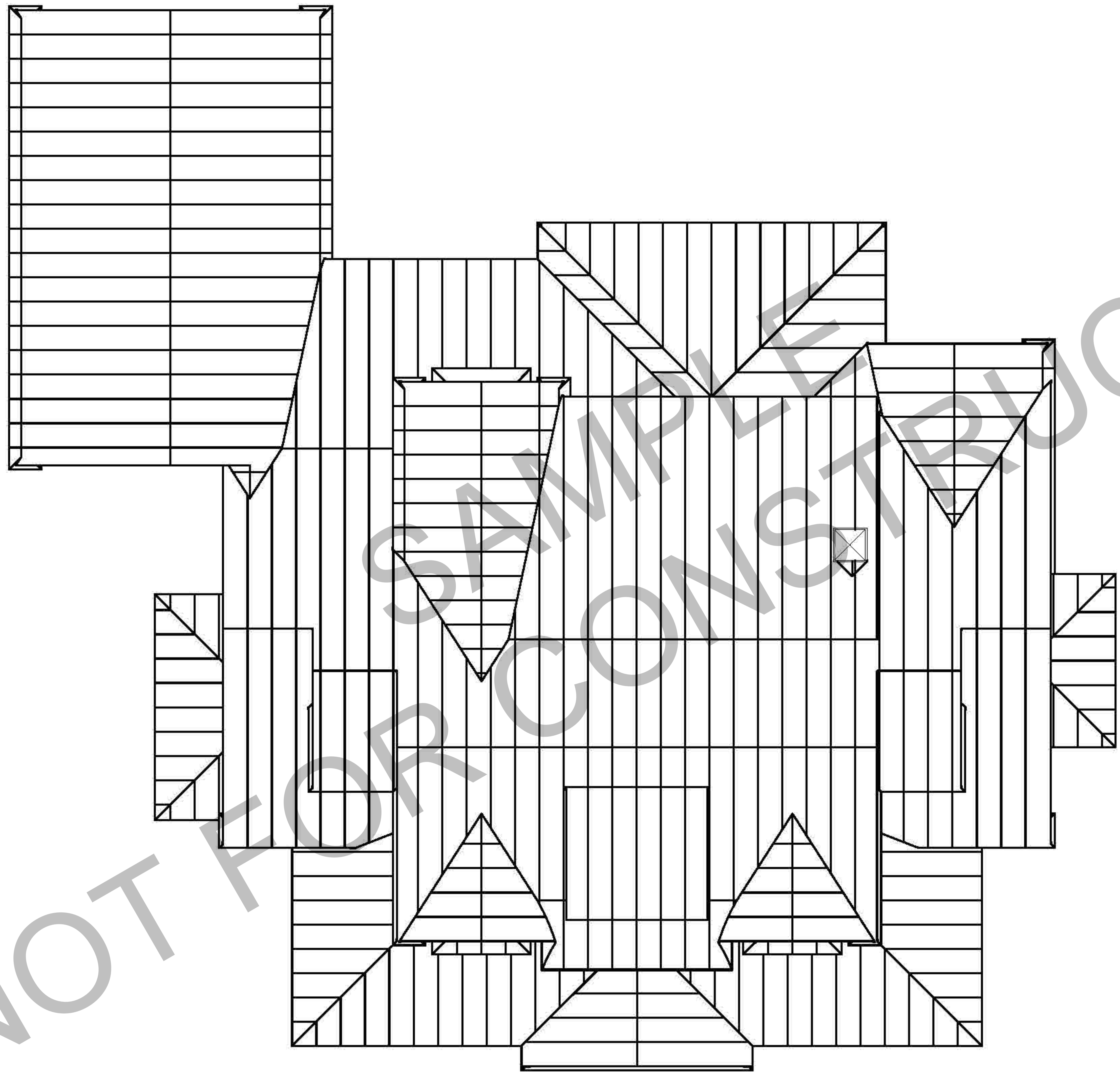
GENERAL NOTES:

1. ALL FRAMING SHALL BE PER LOCAL BUILDING CODES
2. CONSULT ALL SPANS WITH LOCAL BUILDING CODES
3. ALL JOISTS & RAFTERS SHALL BE BRACED PER LOCAL BUILDING CODES
4. ALL FASTENERS, STRAPS, NAILS, ETC PER LOCAL BUILDING CODES
5. JOIST, BEAM, & RAFTER SIZING PER LOCAL BUILDING CODES
6. JOIST HANGERS PER LOCAL BUILDING CODES
7. HEADERS PER LOCAL BUILDING CODES
8. ALL FLOOR TRUSSES IF APPLICABLE SHALL BE ENGINEERED BY TRUSS MANUFACTURER AND INSTALLED PER THEIR SPECIFICATIONS
9. ALL RAFTER / CEILING TRUSSES IF USED SHALL BE ENGINEERED BY MANUFACTURER AND INSTALLED PER THEIR SPECIFICATIONS
10. JOISTS ARE DRAMIN AT 16" O.C. RAFTERS DRAMIN AT 24" O.C.
11. SHAVE JOINT AT JOISTS AND JOIST HANGERS SO BOTTOM OF HANGER METAL IS FLUSH WITH THE BOTTOM OF THE REST OF THE JOIST TO AVOID SHEETROCK ISSUES.
12. THIS IS A GENERAL LAYOUT AND WILL NOT BE DETAILED ENOUGH TO CORRECT FOR RAFTER VALLEYS HITTING JOISTS. FRAME AROUND AS NECESSARY.
13. DEAD WOOD NOT DEPICTED FOR SHEETROCK INSTALLATION. ENSURE ALL CORNERS ALLOW FOR ATTACHING SHEETROCK.
14. AT EXTERIOR WALL LOCATIONS WHERE A GABLE FACE OCCURS, CEILING JOIST SPACING IS DESIGNED TO ALIGN TO THE SIDE OF THE RAFTERS, WITH THE FINAL RAFTER STARTING FLUSH WITH THE OUTSIDE FACE OF THE GABLE WALL. REFER ROOF FRAMING PLANS.
15. WHERE POSSIBLE, JOIST LAYOUT IS INTENDED TO ALLOW FOR A FULL SHEET OF SHEETROCK AT ONE END AND WORK ITS WAY DOWN.
16. 16" O.C. SPACING IS INTENDED TO ALIGN WITH 24" RAFTER SPACING, AND ALLOW FOR 1/2" SHEETROCK. IF 24" JOIST SPACING IS USED, 5/8" SHEETROCK WILL BE NECESSARY.

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1 CEILING FRAMING PLAN  
1/4" = 1'-0"



**GENERAL NOTES:**

1. ALL FRAMING SHALL BE PER LOCAL BUILDING CODES
2. CONSULT ALL SPANS WITH LOCAL BUILDING CODES
3. ALL JOISTS & RAFTERS SHALL BE BRACED PER LOCAL BUILDING CODES
4. ALL FASTENERS, STRAPS, NAILS, ETC PER LOCAL BUILDING CODES
5. JOIST, BEAM, & RAFTER SIZING PER LOCAL BUILDING CODES
6. JOIST HANGERS PER LOCAL BUILDING CODES
7. HEADERS PER LOCAL BUILDING CODES
8. ALL FLOOR TRUSSES IF APPLICABLE SHALL BE ENGINEERED BY TRUSS MANUFACTURER AND INSTALLED PER THEIR SPECIFICATIONS
9. ALL RAFTER/CEILING TRUSSES IF USED SHALL BE ENGINEERED BY MANUFACTURER AND INSTALLED PER THEIR SPECIFICATIONS
10. JOISTS ARE DRAWN AT 16" O.C. RAFTERS DRAWN AT 24" O.C.
11. SHAVE JOINT AT JOISTS AND JOIST HANGERS SO BOTTOM OF HANGER METAL IS FLUSH WITH THE BOTTOM OF THE REST OF THE JOIST TO AVOID SHEETROCK ISSUES.
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① ROOF FRAMING PLAN  
1/4" = 1'-0"