



**NOTICE OF COOPERATION**

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**FLOOR PLAN NOTES:**

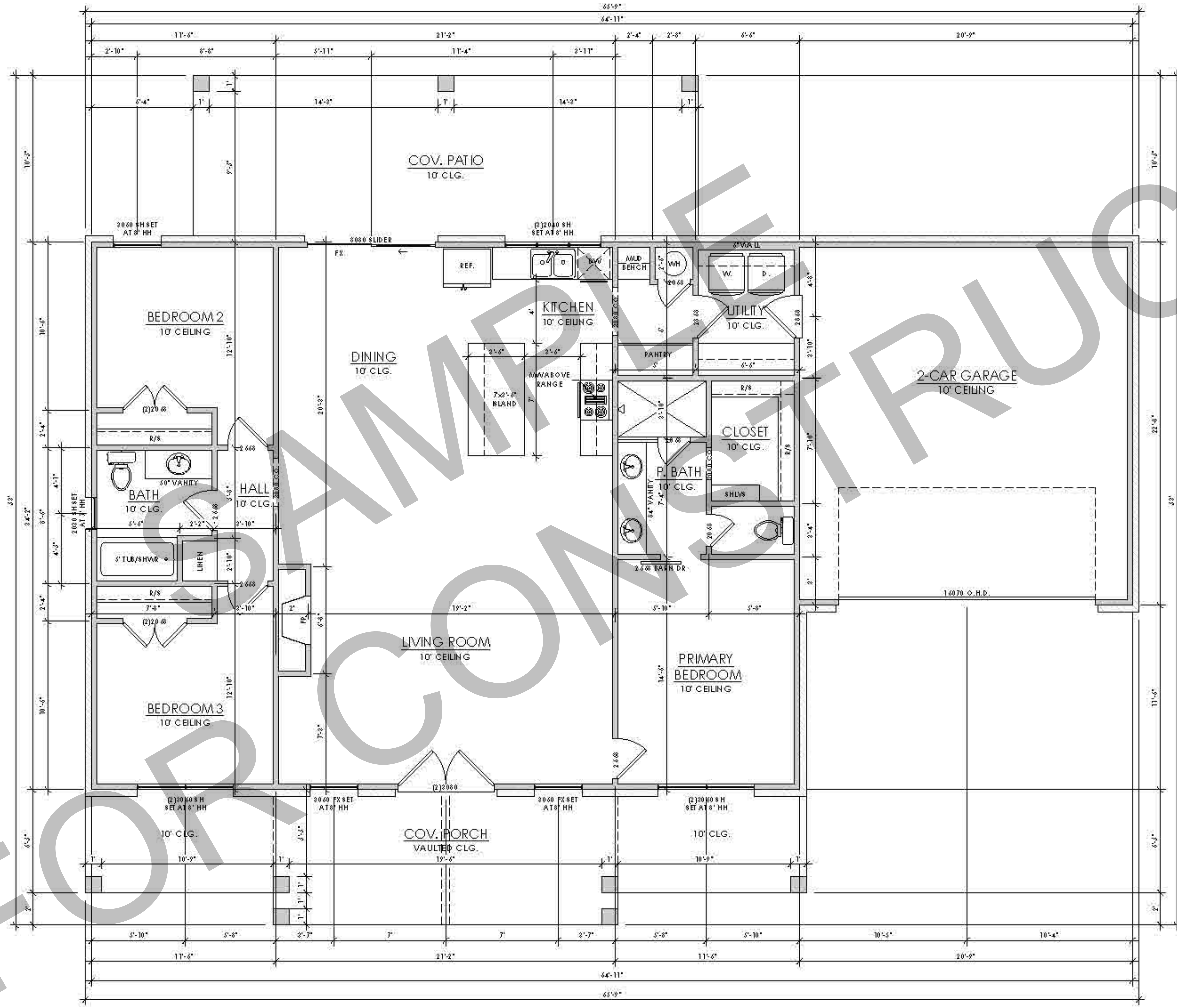
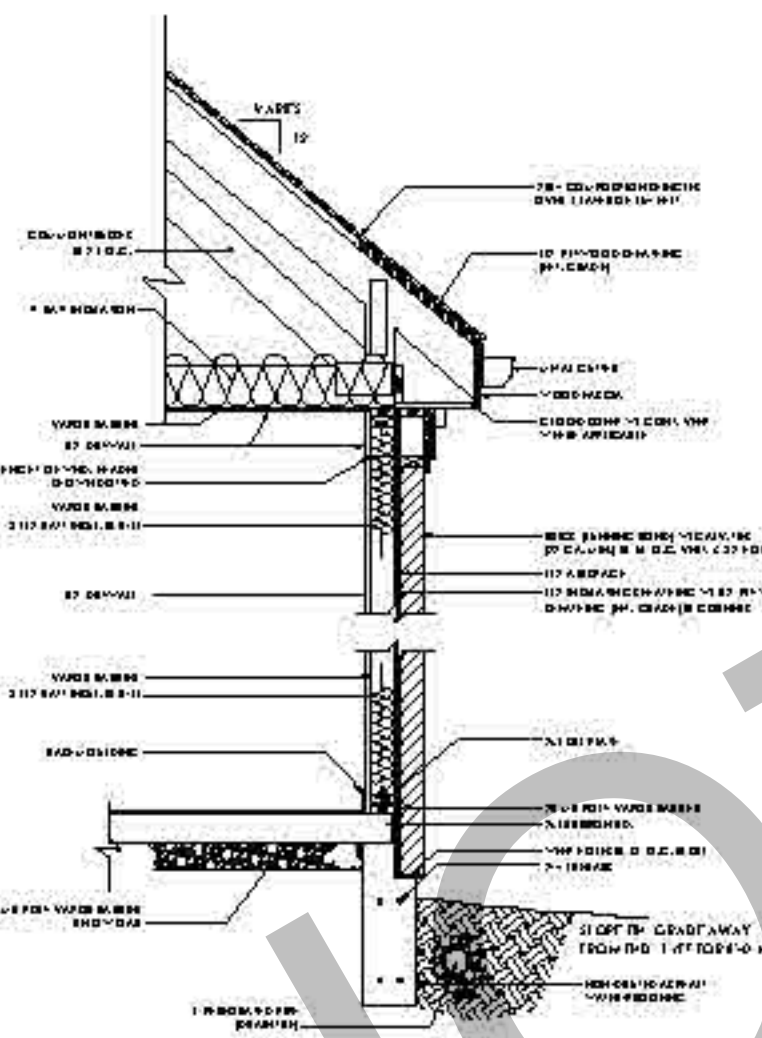
1. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTIONS, HEADERS, JOISTS AND RAFTERS.
2. ALL DIMENSIONS ARE FROM CENTER OF STUD TO CENTER OF STUD, UNLESS NOTED OTHERWISE.
3. WIND-OWNED INDICATED ON PLANS ARE NOTED BY A PRECISE BOUNDARY OPENING SEE REFLECT TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
4. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. UNLESS WORK IS TO BE MINIMIZED, I.E. AS LOW AS POSSIBLE.
5. PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING LEAK OF FIRE SEPARATION, CLEARANCES, ETC. IF THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS ARE CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
6. CONTRACTOR SHALL COORDINATE ALL CLOSERS AND SHELVE REQUIREMENTS.
7. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS ONLY.
8. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
9. BEDROOM WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. A MINIMUM NET CLEAR ACCESSIBLE WIDTH OF 24", A MINIMUM NET CLEAR ACCESSIBLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH FLOOR HEIGHT OF 4" FROM FINISH FLOOR.
10. ALL GLASS LOCATED WITHIN THE 10' OF FLOOR, 12' OF A FLOOR OR LOCATED WITHIN 6" OF FLOOR AT BATHUBS, WHIRPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
11. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
12. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WHICH BURN OPEN FLAME.
13. BATHROOM AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 30 CFM FAN.
14. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF THE SERVICE OPENING. RETURN AIR FILTERS SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FUELED APPLIANCE.
15. ALL BATH AND TOILET AREA WALLS AND CEILING SHALL HAVE WATER RESISTANT GYP BOARD.
16. ALL WALLS AND CEILING IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 5/8" TYPE-X GYP BOARD WITH HOLE FREE RATING ALL EXTERIOR DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS ENTERING HEATED/COOLED PORTION OF RESIDENCE.
17. ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE ROOFING MATERIAL DRAFT STOP AT EACH FLOOR LEVEL BY PACKING 2" (R-10) INSULATION BETWEEN 2x4 JOISTS.
18. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYP BOARD, WITH METAL CORNER REINFORCEMENT TAPE FLOAT AND SAND. (2 COATS) USE 5/8" GYP BOARD ON CEILING WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER. USE 1/2" GYP BOARD ON CEILING MEMBERS LESS THAN 24" O.C.

**PLUMBING NOTES:**

1. PLUMBING SHALL MEET ALL LOCAL CODES.
2. IF WATER HEATER IS LOCATED ANYWHERE EXCEPT GARAGE OR BASEMENT, PROVIDE METAL RAIN PAN WITH AUXILIARY DRAIN TO EXTERIOR.
3. ALL GAS WATER HEATERS SHALL BE VENTED AT TOPOLE.
4. PROVIDE INSIDE MAIN WATER CLOSURE.
5. PROVIDE BLOCKING IF WALL PLATES OR JOISTS ARE CUT INTO.

**NOTE:**

1. BUILDER TO VERIFY ALL SOIL CONDITIONS BEFORE CONSTRUCTING FOUNDATION. FLOOR CONDITIONS EXTENT CONSULT A STRUCTURAL ENGINEER.
  2. BUILDER TO VERIFY FOUNDATION DETAILS WITH LOCAL BUILDING CODES.
  3. VERIFY ALL FLOOR OUTLET, RANGE & DRYER VENTS IN SLAB.
- ALL FOUNDATION DETAILS ARE TYPICAL DETAILS COMMONLY USED IN CONSTRUCTION IN THE AREA. IF THEY ARE NOT ENGINEERED, BUILDER SHOULD CONSULT WITH AN ENGINEER TO CONFIRM THESE TYPES OF DETAILS AND LAYOUT WILL BE ACCEPTABLE FOR THE HOME AND THE LOCATION WHERE IT IS BEING CONSTRUCTED. DESIGNER HAS NO LIABILITY FOR THESE DETAILS.



**1 FLOOR PLAN**  
A2.1 SCALE: 1/4" = 1'-0"

ELEVATIONS
BUILDING ADDRESS:
TOTAL LIVING VENEER:
TOTAL LIVING FRAME:
GARAGE VENEER:
GARAGE FRAME:
FRONT PORCH:
BACK PATIO:



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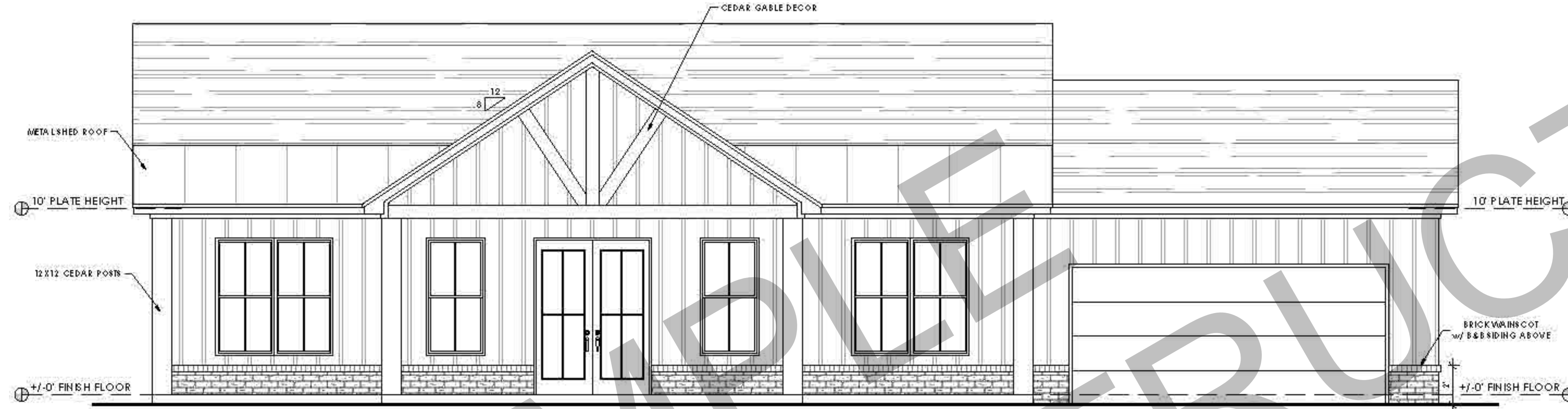
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ELEVATION NOTES:

1. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARD THE FRONT AND REAR OF THE HOME. LOCATED DOWNSPOUTS IN NON-VULNERABLE FRESH AIR LOCATIONS. FOR EXAMPLE, FRONT WALL OF HOUSE BESIDE PORCH COLUMN, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOME WITH OWNER.
2. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW (I.E. AT THE REAR OF THE HOME) AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
3. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
4. EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOF, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.
5. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATIONS / ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.

GENERAL SIDING NOTES:

1. STANDARD SIDING- 4x8 SMART SIDING w/ 1/2" BATTENS @ 8" O.C.
2. BOARD & BATTEN SIDING- 4x8 SMART SIDING w/ 1/2" BATTENS @ 12" O.C.
3. SIDES AND BACK OF HOME TO BE FULL BRICK UNLESS NOTED OTHERWISE
4. ALL BATTENS TO BE 1x2 SMART TRIM
5. CORNERS, WIND OVER, AND DOOR AT FRONT OF HOME TO BE 1x4 SMART TRIM
6. SIDING ON FRONT OF HOME TO VRA P AROUND 2" ON SIDES
7. GARAGE TRIM TO BE 1x4 SMART TRIM



1 FRONT ELEVATION  
A4.1 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION  
A4.1 SCALE: 1/4" = 1'-0"

ELEVATIONS

BUILDING ADDRESS:

TOTAL LIVING VENEER:

TOTAL LIVING FRAME:

GARAGE VENEER:

GARAGE FRAME:

FRONT PORCH:

BACK PATIO:

ELEVATIONS

A4.1

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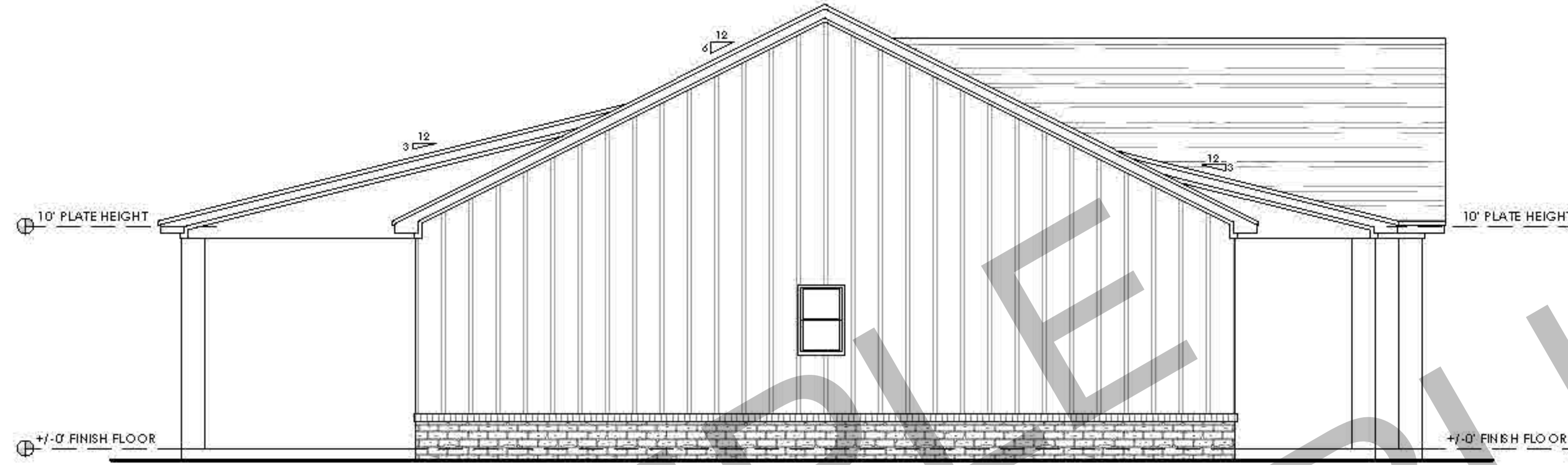
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ELEVATION NOTES:

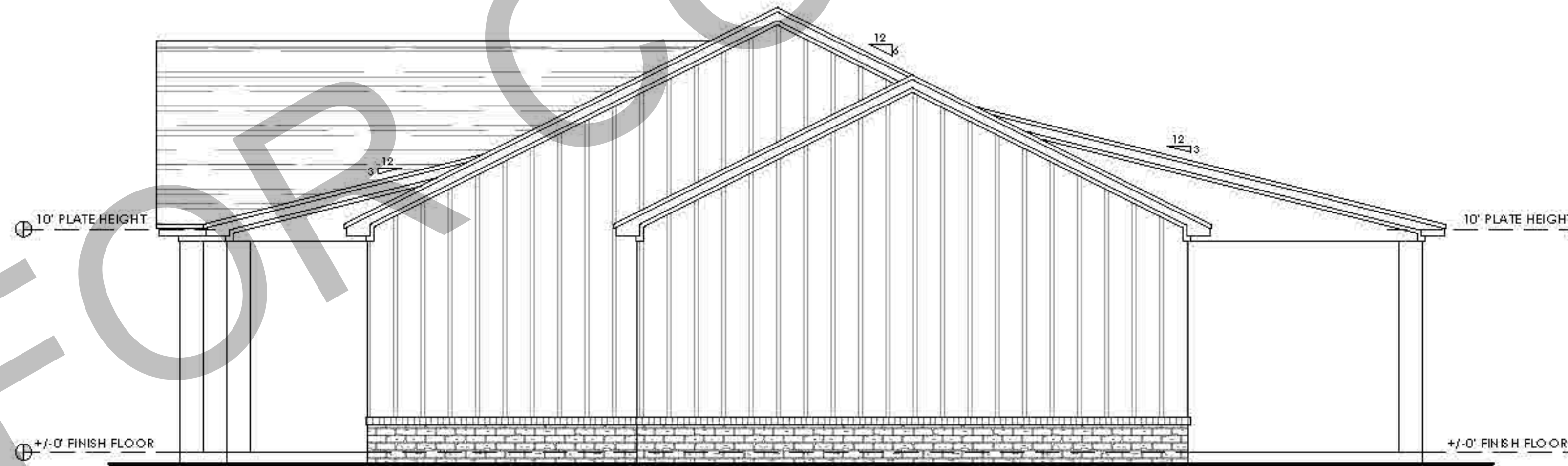
- GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARD THE FRONT AND REAR OF THE HOME. LOCATED DOWNSPOUTS IN NON-VISIBLE FRONT VIEWS. FOR EXAMPLE, FRONT WALL OF HOUSE BESIDE PORCH COLUMN, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOME WITH OWNER.
- PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOME AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
- PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
- EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOF, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.
- CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATIONS / ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.

GENERAL SIDING NOTES:

- STANDARD SIDING - 4x8 SMART SIDING W/ 1x2 BATTENS & SEAM
- BOARD & BATTEN SIDING - 4x8 SMART SIDING W/ 1x2 BATTENS @ 16" O.C.
- SIDES AND BACK OF HOME TO BE FULL BRICK UNLESS NOTED OTHERWISE
- ALL BATTENS TO BE 1x2 SMART TRIM
- CORNERS, WIND OVER, AND DOOR AT FRONT OF HOME TO BE 1x4 SMART TRIM
- SIDING ON FRONT OF HOME TO WRAP AROUND 2" ON SIDES
- GARAGE TRIM TO BE 1x4 SMART TRIM



1 LEFT ELEVATION  
A4.2 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION  
A4.2 SCALE: 1/4" = 1'-0"

ELEVATIONS

BUILDING ADDRESS:

TOTAL LIVING VENEER:

TOTAL LIVING FRAME:

GARAGE VENEER:

GARAGE FRAME:

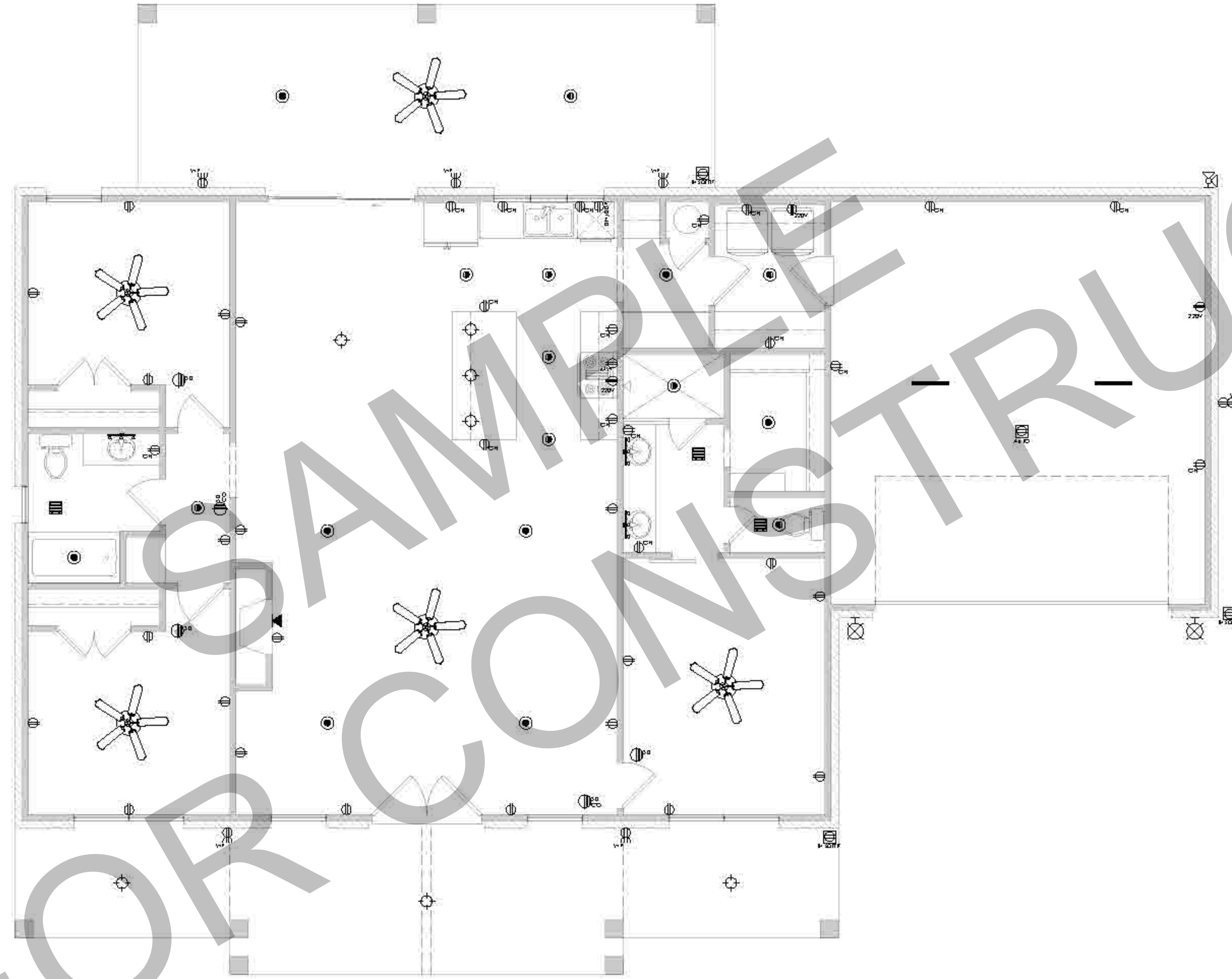
FRONT PORCH:

BACK PATIO:

ELEVATIONS

A4.2

ELECTRICAL LEGEND	
	110V DUPLEX OUTLET
	110V WEATHER PROOF NO FAULT
	220V DUPLEX OUTLET
	110V GROUND FAULT INTERCEPTOR
	BULB LIGHT
	CEILING MOUNTED OUTLET
	FLOOR MOUNTED OUTLET
	PHONE/CABLE
	BATHROOM EXHAUST VENT
	BATHROOM EXHAUST VENT, HEATER, & LIGHT
	FLUSH MOUNT LIGHT
	VANITY SURFACE MOUNTED LIGHT
	TRACK LIGHT (IDEALS SPECIFIED)
	CEILING FAN W/ LIGHT KIT
	EXTERIOR FLOOD LIGHT
	WALL MOUNTED LIGHT
	DECORATIVE LIGHT FIXTURE
	LED LIGHT
	SINGLE PHASE SWITCH
	DIMMER SWITCH
	THREE(3) PHASE SWITCH (2 WAY)
	FOUR(4) PHASE SWITCH (3 WAY)
	JAN/B SWITCH
	DOOR CHIME
	SMOKE DETECTOR
	SMOKE AND CARBON MONOXIDE DETECTOR



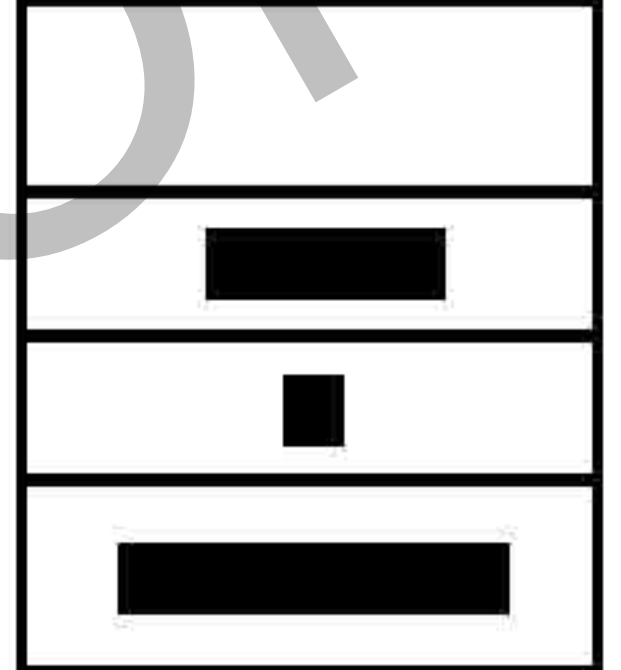
1 ELECTRICAL PLAN  
A5 SCALE: 1/4" = 1'-0"

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ELEVATIONS



BUILDING ADDRESS:

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TOTAL LIVING FRAME:

GARAGE VENEER:

GARAGE FRAME:

FRONT PORCH:

BACK PATIO:

ELECTRICAL PLAN

A5

